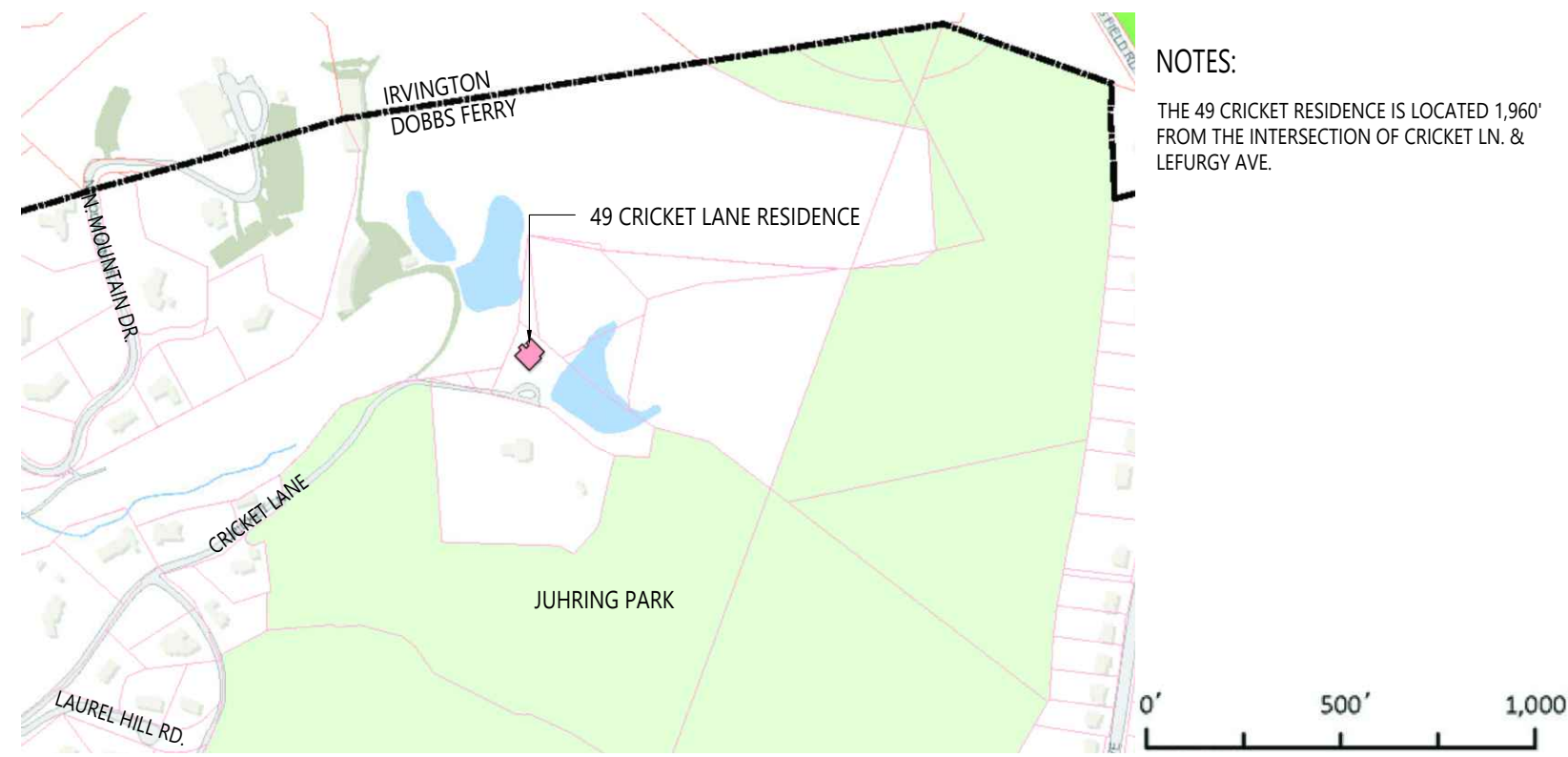


# 49 CRICKET LANE RENOVATIONS AND ADDITION

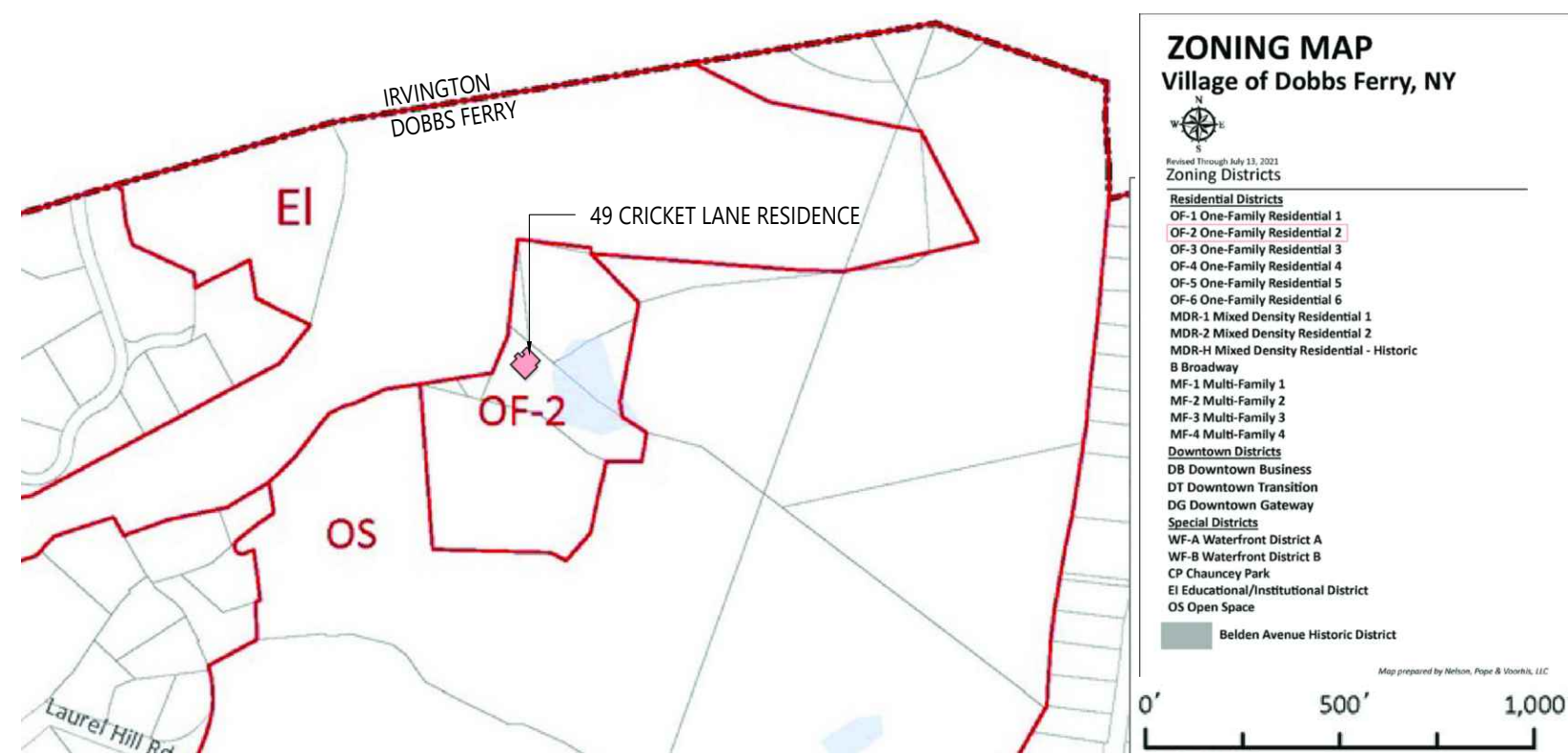


## LOCATION MAP



1 LOCATION MAP  
SCALE: SEE GRAPHIC SCALE

## ZONING MAP



2 ZONING MAP  
SCALE: SEE GRAPHIC SCALE

## NOTES

### GENERAL NOTES:

- SCOPE OF WORK: RENOVATIONS AND ADDITION TO RESIDENCE AT 49 CRICKET LANE, DOBBS FERRY, NY. IT IS THE INTENT THAT THE WORK INCLUDED SHALL COVER THE MANUFACTURE, FABRICATION, DELIVERY, INSTALLATION AND/OR ERECTION, WITH ALL INCIDENTALS THEREOF, AS SHOWN ON THE DOCUMENTS, AS SPECIFIED HEREIN, AND AS REQUIRED BY JOB CONDITIONS.
- ADDITION WILL BE CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL AND STATE ENERGY CODES.

### CONSTRUCTION SEQUENCE:

- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PER NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL.
- PROTECT PLANTS AND TREES THAT ARE LOCATED IN THE CONSTRUCTION AREA AND THAT ARE TO REMAIN.
- SELECTIVE EXTERIOR AND INTERIOR DEMOLITION.
- ADDITION AND PORTICO FOOTING AND FROST WALL INSTALLATION; REMOTE METER, OTHER INTERIOR AND EXTERIOR WORK; CONDENSERS AND GENERATOR INSTALLATION.
- ASPHALT REPLACEMENT, CURBING, AND EXTERIOR TERRACE AND WALK WORK.
- RESTORATION OF EXTERIOR WORK AREA: SEED AND MOW.
- LANDSCAPING.

### DEMOLITION NOTES:

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNTIL PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE SITE AND WORK. THE DESIGN OF THE TEMPORARY SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF THE LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL REGULATING AUTHORITIES.
- THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES, AND PROVIDE ANY AND ALL BONDS REQUIRED BY THE STATE OF NEW YORK, COUNTY OF WESTCHESTER, AND VILLAGE OF DOBBS FERRY IN ORDER TO DO THE WORK HEREIN DESCRIBED.

## PROJECT DIRECTORY

### OWNER:

NICHOLAS & KRISTIN WILLOUGHBY  
60 PRESCOTT AVE.  
BRONXVILLE, NY 10708

### ARCHITECT:

ALLEN D. ROSS, AIA  
ALLEN ROSS ARCHITECTURE, LLC  
153 MAIN STREET  
NEW PALTZ, NY 12561  
845.255.0114

### CIVIL ENGINEER:

MICHAEL F. STEIN, P.E.  
HUDSON ENGINEERING & CONSULTING, P.C.  
45 KNOLLWOOD ROAD, SUITE 201  
ELMSFORD, NY 10523  
914.506.0420  
MICHAEL@HUDSONEC.COM

### SURVEYOR:

EDWARD T. GANNON, P.L.S.  
CHERRY HILL ROAD  
BLOOMING GROVE, NY 10914  
845.486.3537  
EGANNONSURVEYING@YAHOO.COM

## DRAWING LIST

### GENERAL:

T-001 COVER SHEET & GENERAL NOTES  
EC-001 CODE REQUIREMENTS & ENERGY COMPLIANCE

### SITE SURVEY

#21280 EXISTING CONDITION SITE SURVEY

### SITE PLAN

A-001 SITE PLAN

### REMOVAL:

D-100 BASEMENT REMOVAL PLAN  
D-101 FIRST FLOOR REMOVAL PLAN  
D-102 SECOND FLOOR REMOVAL PLAN

D-200 SOUTH & WEST REMOVAL ELEVATIONS  
D-201 NORTH & EAST REMOVAL ELEVATIONS

### ARCHITECTURAL:

A-100 FOUNDATION PLAN

A-101 FIRST FLOOR PLAN

A-102 SECOND FLOOR PLAN

A-200 SOUTH & WEST ELEVATIONS  
A-201 NORTH & EAST ELEVATIONS  
A-202 RENDERED ELEVATIONS & EXISTING ELEVATION PHOTOS  
A-203 SKY EXPOSURE PLANE PLAN AND ELEVATIONS

A-300 BUILDING SECTIONS  
A-310 BUILDING SECTION DETAILS  
A-312 PROJECTING GARAGE ROOF DETAILS

SCH-100 SCHEDULES

### ELECTRICAL:

E-100 BASEMENT ELECTRICAL PLAN

E-101 FIRST FLOOR ELECTRICAL PLAN

E-102 SECOND FLOOR ELECTRICAL PLAN

## DRAWING SYMBOLS

FIN. FIRST FLOOR  
EL. ±100'-0"

SP START POINT

1 A301 BUILDING SECTION / ELEVATION REFERENCE

1 A401 DETAIL REFERENCE

1 A401 DETAIL REFERENCE

D A301 B C INTERIOR ELEVATION REFERENCE

A WINDOW NUMBER

101 DOOR NUMBER

101 ROOM NUMBER

114A-1 MILLWORK NUMBER

100-A PLUMBING NUMBER

## ABBREVIATIONS

A.B. ANCHOR BOLT  
ACC. ACCESSIBLE  
ACT. ACoustIC CEILING TILE  
ADDL. ADDITIONAL

ADJ. ADJACENT  
A.E.D. AUTOMATED EXTERNAL DEFIBRILLATOR  
A.F.F. ABOVE FINISH FLOOR

APPROX. APPROXIMATE  
ARCH. ARCHITECT  
A.S.F. ABOVE SUB FLOOR

B. BOTTOM  
BO. BOARD  
BET. BETWEEN

BIT. BITUMINOUS  
B.O. BOTTOM OF  
CANT. CANTILEVERED

CL. CLOSET  
CL. CENTERLINE  
CL.G. CEILING

COL. COLUMN  
CONC. CONCRETE  
CONT. CONTINUOUS

DEMO. DEMOLISH  
DIA. DIAMETER  
DIM. DIMENSION

DR. DOOR  
DS. DOWNSPOUT  
DWG. DRAWING

EL. ELEVATION  
ELEC. ELECTRICAL  
ELEV. ELEVATION

ELEVS. ELEVATIONS  
E.O. EDGE OF  
EQ. EQUAL

EQUIP. EQUIPMENT  
E.T.R. EXISTING TO REMAIN  
EXT. EXTERIOR

EXT. EXISTING  
F.A.I. FRESH AIR INTAKE  
F.F.I. FINISH FLOOR

FIN. FINISH  
F.R. FLOOR  
F.M.F.M. FACE OF MASONRY TO FACE OF MASONRY

F.O. FACE OF  
FOUND. FOUNDATION  
F.R. FIBER REINFORCED

FTG. FOOTING  
GALV. GALVANIZED  
G.B. GYPSUM BOARD

HORIZ. HORIZONTAL

INSUL. INSULATION  
INT. INTERIOR  
MAX. MAXIMUM  
M.D.O. MEDIUM DENSITY OVERLAY PLYWOOD

MIN. MINIMUM  
N.A. NOT PART OF WORK  
N.I.C. NOT IN CONTRACT

N.T.S. NOT TO SCALE  
O. OVER  
O.C. ON CENTER

OPNG. OPENING  
OPP. OPPOSITE  
PLYWD. PLYWOOD

PNL. PANEL  
P.T. PRESERVATIVE PRESSURE TREATED  
PTD. PAINTED

RECEPT. RECEPTACLE  
REIN. REINFORCED  
REQ. REQUIRED

RM. ROOM  
R.O. ROUGH OPENING  
R.T.U. ROOF TOP UNIT

SCRN. SCREEN  
S.F. SQUARE FEET  
SIM. SIMILAR

SLP. SLOPE  
SQ. SQUARE  
S.S. STAINLESS STEEL

ST. STONE  
STD. STANDARD  
STL. STEEL

STRUC. STRUCTURAL  
SUBFLR. SUB FLOOR  
T. TOP

T&B. TOP AND BOTTOM  
T.B.D. TO BE DECIDED  
T.B.G. TONGUE AND GROOVE

THK. THICK  
T.O. TOP OF  
T.R.M. TOILET ROOM

TYP. TYPICAL  
UNI. UNIVERSAL  
UNQ. UNLESS NOTED OTHERWISE

V.I.F. VERIFY IN FIELD  
VERT. VERTICAL  
W.C. WATER CLOSET

W. WITH  
WIND. WINDOW  
WD. WOOD

W.W.F. WELDED WIRE FABRIC

REVISIONS 05:  
ELEVATION SHEET A-202 AND SKY EXPOSURE PLANE PLAN AND ELEVATIONS SHEET A-203 ADDED TO DRAWING LIST

REVISIONS 04:  
N.A. TO AHRB REVISIONS 05.

REVISIONS 02:  
1. CONSTRUCTION SEQUENCE ADDED  
2. ZONING AND LOCATION MAPS ADDED  
3. PROJECT DIRECTORY AND DRAWING LIST REVISED

11.14.2022 AHRB REVISIONS

07.27.2022 BUILDING PERMIT REVISIONS

05.31.2022 AHRB ISSUE

05.09.2022 PLANNING BOARD ISSUE

03.11.2022 BUILDING PERMIT ISSUE

ALLEN ROSS ARCHITECTURE  
GREENWICH, CT 203.832.3534  
NEW PALTZ, NY 845.255.0114

## 49 CRICKET LANE RESIDENCE

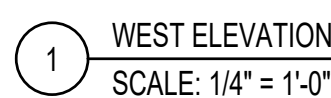
DOBBS FERRY, NY

## COVER SHEET GENERAL NOTES



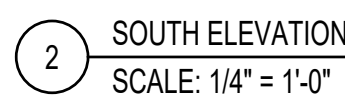
PROJECT NO.  
190  
WIL  
T-001





WEST ELEVATION

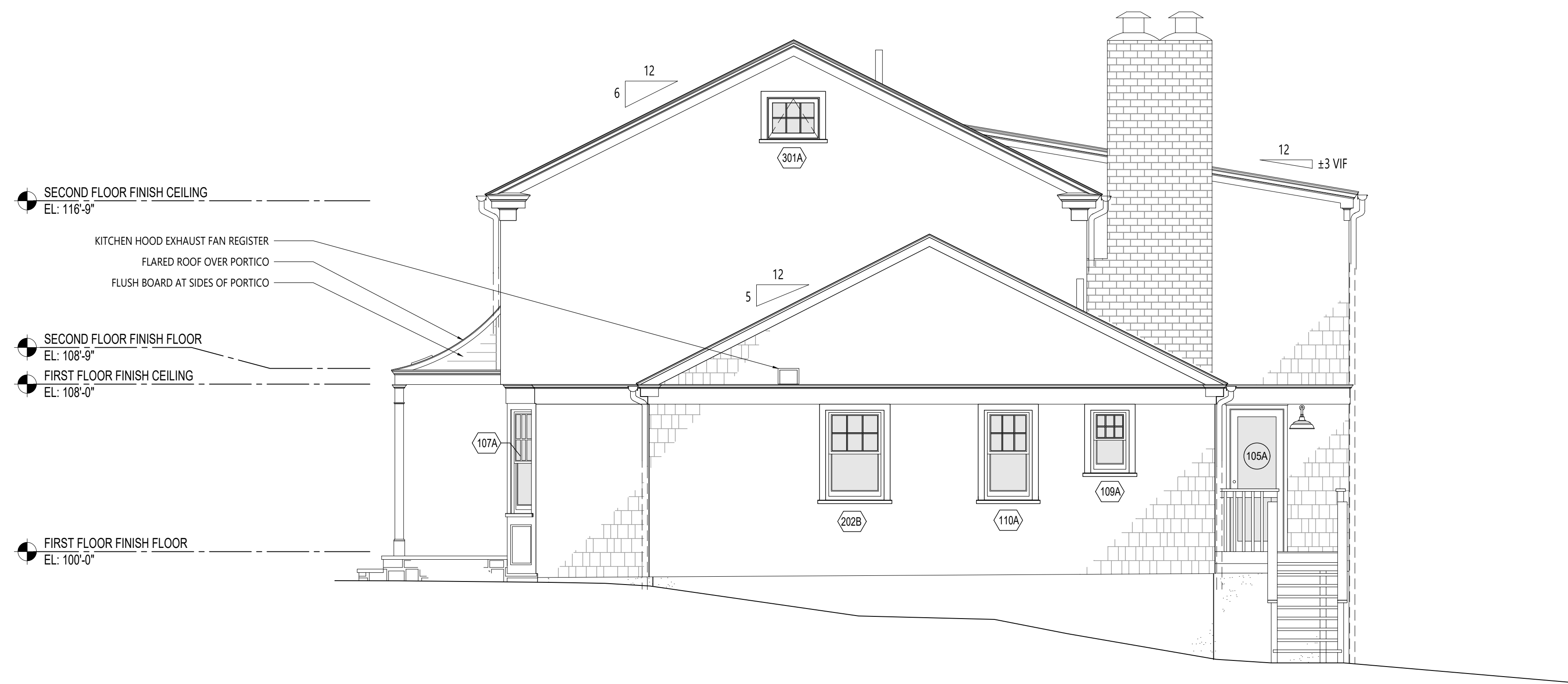
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

- 
- PROJECT NO.  
**190**  
**WIL**
- A-200**



1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

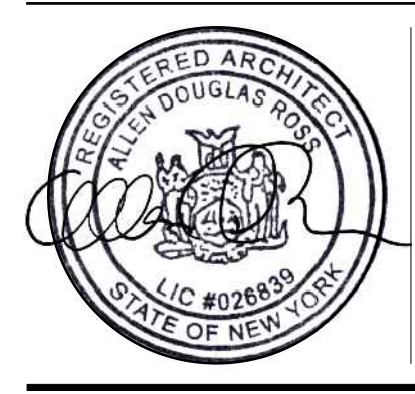
- COLORS AND MATERIALS LIST:**
1. SLATE ROOF: MIX OF 1 PART NON-WEATHERING PURPLE SLATE AND 3 PARTS NON-WEATHERING GREEN SLATE
  2. EXHAUST AND PLUMBING VENTS: COPPER
  3. WOOD SHINGLE SIDING: MAIBEC THUNDER SKY 345
  4. CEMENTITIOUS PLASTER (STUCCO): BENJAMIN MOORE GREY CLOUD 2126-60
  5. TRIM, CLAD AND PAINTED DOORS, AND WINDOW CLADDING: SIERRA PACIFIC WHITE #001
  6. ALUMINUM AND PAINTED CLAD DOOR HARDWARE: LAQUERED BRASS
  7. STAINED DOORS 002A, 002B, 101A: MINIWAX EARLY AMERICAN/JACOBAN MIX
  8. STAINED DOOR HARDWARE: UNLAQUERED BRASS
  9. SHUTTER COLOR: TIMBERLANE PITCH BLACK
  10. SHUTTER HARDWARE: GALVANIZED STEEL POWDER COATED BLACK

- REVISIONS 05:**
1. SLATE ROOF REPLACES WOOD ROOF
  2. BROWN ALUMINUM GUTTERS AND LEADERS REPLACES COPPER ONES
  3. PLUMBING VENT AND EXHAUST FAN DISCHARGE FOR BATHROOMS SHOWN
  4. REVISED COLORS AND MATERIALS LIST ADDED
- REVISIONS 04:**
- N.A.
- REVISIONS 02:**
1. ADDED NOTES
- |            |                           |
|------------|---------------------------|
| 11.14.2022 | AHRB REVISIONS            |
| 07.27.2022 | BUILDING PERMIT REVISIONS |
| 05.31.2022 | AHRB ISSUE                |
| 05.09.2022 | PLANNING BOARD ISSUE      |
| 03.11.2022 | BUILDING PERMIT ISSUE     |

**ALLEN ROSS ARCHITECTURE**  
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NEW PALTZ, NY 845.255.0114  
AllenRossArchitecture.com

**49 CRICKET LANE  
RESIDENCE**  
DOBBS FERRY, NY

**ELEVATIONS  
NORTH & EAST**



PROJECT NO.  
**190  
WIL**

**A-201**





1 RENDERINGS: PROPOSED  
NOT TO SCALE



2 EXISTING  
NOT TO SCALE

- REVISIONS 05:  
1. SLATE ROOF REPLACES WOOD ROOF  
2. BROWN ALUMINUM GUTTERS AND LEADERS REPLACES COPPER ONES  
3. PLUMBING VENT AND EXHAUST FAN DISCHARGE FOR BATHROOMS SHOWN  
4. REVISED COLORS AND MATERIALS LIST ADDED
- REVISIONS 04:  
NO CHANGES THIS SHEET
- REVISIONS 03:  
NO CHANGES THIS SHEET
- REVISIONS 02:  
1. SHEET ADDED

- COLORS AND MATERIALS LIST:
1. SLATE ROOF: MIX OF 1 PART NON-WEATHERING PURPLE SLATE AND 3 PARTS NON-WEATHERING GREEN SLATE
  2. EXHAUST AND PLUMBING VENTS: COPPER
  3. WOOD SHINGLE SIDING: MAIBEC THUNDER SKY 345
  4. CEMENTITIOUS PLASTER (STUCCO): BENJAMIN MOORE GREY CLOUD 2126-60
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  7. STAINED DOORS 002A, 002B, 101A: MINIWAX EARLY AMERICAN/JACOBAN MIX
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11.14.2022 AHRB REVISIONS  
07.27.2022 BUILDING PERMIT REVISIONS  
06.02.2022 AHRB ISSUE  
05.09.2022 PLANNING BOARD ISSUE

ALLEN ROSS ARCHITECTURE  
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NEW PALTZ, NY 845.255.0114  
AllenRossArchitecture.com

## 49 CRICKET LANE RESIDENCE

DOBBS FERRY, NY

RENDERINGS &  
EXISTING PHOTOS

REGISTERED ARCHITECT  
ALLEN DOUGLAS ROSS  
LIC #026859  
STATE OF NEW YORK

PROJECT NO.  
190  
WIL  
A-202



