VILLAGE OF DOBBS FERRY BOARD OF TRUSTEES AGENDA

MEETING DATE: AUGUST 10, 2021
AGENDA ITEM SECTION: DISCUSSION ITEMS
AGENDA ITEM NO. : 1
AGENDA ITEM: DISCUSSION REGARDING THE REVISED SITE PLAN FOR 398 ASHFORD AVENUE; AND CONSIDERATION OF A RESOLUTION TO SCHEDULE A PUBLIC HEARING
ITEM BACKUP DOCUMENTATION: 1. LETTER DATED JUNE 29, 2021 (RECEIVED BY THE VILLAGE ON AUGUST 3, 2021), FROM DAVID/3P MANAGEMENT TO THE BOARD OF TRUSTEES 2. PLANS/DRAWINGS 3. MEMORANDUM DATED AUGUST 5, 2021 FROM VALERIE MONASTRA/VILLAGE PLANNING CONSULTANT TO MAYOR ROSSILLO AND THE BOARD OF TRUSTEES 4. DRAFT RESOLUTION

3P Management

RECEIVED
AUG 03 2021
by the Village Clerk
Village of Dobbs Ferry, NY

6/29/2021

56 Main St.
Hastings on Hudson 10706

Dear Board of Trustees, Village of Dobbs Ferry,

Thank you for the time in reviewing this project, again. I would like to review the parking and PILOP – and I am asking for **1 (one) Waiver.**

The current units do not meet the new requirements of 600ft. I am not building new units – everything currently exists, in terms of building and unit sizes.

Please see below for the parking analysis, and some of the rationale.

1) By converting to residential – we are reducing the parking needs, and reduce the traffic impact, thus improving the area (from a traffic and parking perspective)

2) If the BOT does insist on a PILOP, per my understanding of the code, the funds are to be allocated to additional local parking, I would recommend – these be directed to rebuilding the two spaces in front of the building so they can be functional and used properly.

PARKING ANALYSIS			
EXISTING		PROPOSED	
MIXED USE STRUCTURE		RESIDENTIAL MULTI-FAMILY DWELLING	
5 Residential + 3 office/commercial ground floor		1 SPACE PER D.U. + 0.25 SPACES PER BEDROOM	
TYPE	EXISTING PARKING	TYPE	PARKING REQUIRED
(4) 1-BED UNITS	2	(4) 1-BED UNITS	EXISTING
(1) 2-BED UNIT	1	(1) 2-BED UNIT	EXISTING
OFFICE SPACE	NONE	3 ADDED UNITS	4 ADDITIONAL SPACES
TOTAL	3 SPACES REQUIRED	TOTAL	7 SPACES REQUIRED
PROVIDED	3 SPACES	PROVIDED	7 SPACES

NOTE: PROPOSED IMPROVEMENTS DECREASE PARKING NON-CONFORMITY ON SITE
TOTAL REQUIRED PARKING IS REDUCED BY 2 SPACES

Thanks for your time – and looking forward to completing this project.

David

ASHFORD BUILDING

RESIDENTIAL & APARTMENT BUILDING
398 ASHFORD ST.
DOBBS FERRY, NY 10522

GENERAL NOTES

GENERAL CONDITIONS

1. THE LATEST EDITION OF A.I.A. DOCUMENT A201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" SHALL BE PART OF THE CONSTRUCTION PHASE OF THIS PROJECT
2. CONTRACTOR IS TO PROVIDE A COMPLETE, FINISHED AND OPERATIONAL PROJECT UNDER THE SCOPE OF THE CONSTRUCTION CONTRACT. ANY CLARIFICATIONS TO ACCOMPLISH THIS SHALL BE REVIEWED BY CHADHA + ASSOCIATES (ARCHITECT) OR TENANT
3. CONTRACTOR SHALL VERIFY THE SITE PRIOR TO SUBMITTING PRICE BID TO VERIFY EXISTING FIELD CONDITIONS AND NOTIFY CHADHA + ASSOCIATES OF ANY OMISSIONS AND/OR CONFLICTS IN THE CONSTRUCTION DOCUMENTS WHICH MAY AFFECT THE BID. NOTIFY CHADHA + ASSOCIATES OF ANY CONFLICTS BETWEEN ARCHITECT AND CONSULTANT DRAWINGS.
4. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE.
5. CONTRACTOR'S WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE GOVERNMENTAL BUILDING CODES, ACCESSIBILITY STANDARDS, AND AMERICANS WITH DISABILITIES ACT (ADA) RULES AND REGULATIONS. SHOULD PROVISIONS OF THESE CODES AND STANDARDS BE CONTRARY TO CONSTRUCTION DOCUMENTS BIDDERS WILL NO ADVISE THE ARCHITECT OR CLIENT BEFORE ANY BIDS. FAILURE TO COMPLY WILL NOT BE CAUSE FOR ANY ADDITIONAL COMPENSATION AFTER BID OPENING.
6. CONTRACTOR SHALL OBTAIN BUILDING PERMITS AND SHALL BE RESPONSIBLE FOR PAYMENT OF ALL APPLICABLE FEES.
7. CONTRACTOR TO COMPLY WITH ALL BUILDING MANAGEMENT REGULATIONS AND CONSIDER USE OF ELEVATOR, LOADING DOCKS, AND SITE PRIOR TO COMMENCEMENT OF WORK.
8. ALL WORK PERFORMED AND MATERIALS UTILIZED SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION, OR LONGER IF SO SPECIFIED ELSEWHERE IN THE CONTRACT DOCUMENTS AGAINST DEFECTS IN WORKMANSHIP AND/OR MATERIALS.
9. CONTRACTOR TO PROVIDE APPLICABLE WARRANTIES, MANUALS, AND GUARANTEES REGARDING SYSTEMS, EQUIPMENT, FIXTURES, AND WORKMANSHIP TO CHADHA + ASSOCIATES.
10. DIMENSIONS GIVEN ARE FROM FINISH FACE TO FINISH FACE UNLESS NOTED OTHERWISE.
11. THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES FOR SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK FOR THE ACTS OR THE OMISSIONS OF THE CONTRACTORS, SUB-CONTRACTORS OR ANY OF THEIR SUCCESSORS OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
12. CONTRACTOR TO INSPECT THE PLUMBING, HEATING, ELECTRICAL, FIRE PROTECTION AND STRUCTURAL SYSTEMS. CONTRACTOR TO INCLUDE IN THEIR BID ALL NECESSARY ALTERATIONS TO THE ABOVE DESCRIBED BUILDING SYSTEMS AS THEY ARE AFFECTED BY THE SCOPE OF WORK IN THESE DOCUMENTS.
13. ALL PUBLIC AREAS, AS WELL AS ACCESS TO THE PREMISES MUST MEET ADA STANDARDS.
14. ACCESS FOR ELECTRICAL AND PLUMBING WORK IS TO BE COORDINATED WITH THE BUILDING MANAGER OR SPECIFIED AGENTS. CONTACT PROPERTY MANAGEMENT

GENERAL CONSTRUCTION

1. DOORS USED IN CONNECTION WITH EXITS SHALL BE SO ARRANGED AS TO REMAIN UNOBSTRUCTED AND READILY OPEN BEING WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE FROM WHICH EXITS IS MADE.
2. ALL GLAZED DOORS, AND ANY GLAZED PANEL WIDE THAN 18" IN WIDTH IMMEDIATELY ADJACENT TO ANY DOOR WHEREIN THE SILL OF EACH GLAZED PANEL IS LESS THAN 24" ABOVE THE FLOOR SHALL BE CONSIDERED "HAZARDOUS LOCATIONS" AND SHALL BE GLAZED WITH SAFETY GLAZING MATERIALS.
3. ALL ROUGH CARPENTRY TO BE PRESERVATED IN ACCORDANCE WITH LOCAL CODES AND LANDLORD REQUIREMENTS.
4. CUTTING AND PATCHING: CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING AND PATCHING IN EXISTING CONSTRUCTION WHERE REQUIRED FOR NEW CONSTRUCTION. CONTRACTOR WILL ARRANGE WITH BUILDING MANAGEMENT FOR APPROVAL OF PRIOR TO COMMENCING WITH ANY SUCH WORK. EXISTING CONSTRUCTION WHICH AFFECTED BY SUCH WORK MUST BE PROPERLY REPAIRED AND ALIGNED SO AS TO LEAVE NO EVIDENCE OF RENOVATION WORK.
5. CONTRACTOR SHALL VERIFY THAT ALL EXISTING FLOORS ARE IN GOOD AND LEVEL CONDITION TO RECEIVE SPECIFIED FLOORING FINISH. ALL AREAS FOUND NOT TO, ARE TO BE PATCHED TO ALLOW FOR NO MORE THAN 1/4" VARIATION IN A 10'-0" SPAN W/ CEMENT-BASED SELF-LEVELING UNDERLAYMENT
6. ALL DRYWALL JOINTS AND CORNERS TO BE TAPED, FILLED AND SANDED SMOOTH IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS/INDUSTRY STANDARDS.
7. THE CONTRACTOR SHALL REMOVE DUST AND DEBRIS/PATHWAYS UPON COMPLETION REMOVE ALL EQUIPMENT AND PERFORM FINAL CLEANING AS MAY BE NECESSARY TO LEAVE THE JOB SITE IN A CLEAN CONDITION. ALL DEBRIS, INCLUDING BUT NOT LIMITED TO: ALL CONSTRUCTION BUILDING MATERIAL INCLUDING BRICKS, FORMS, SCRAP LUMBER, PAPER, ETC. ALL PAINTING SPILLS, DRIPS AND CAUTIONS IN WHICH CONSTRUCTION HAS OCCURRED HAVE BEEN REMOVED SHALL BE REMOVED IMMEDIATELY. THE BURNING OF ANY MATERIAL IS STRICTLY PROHIBITED.
8. CONTRACTOR SHALL INSPECT THE FIELD CONDITIONS PRIOR TO ANY FLOOR COVERING TO ENSURE NON-CONFORMING CONDITIONS WITH UNDER FLOOR DUCTS, STRUCTURAL MEMBERS, AND CONDENSING DUCTS, ETC.
9. CONTRACTOR TO ENSURE THAT FIRE SAFING MATERIAL ON STRUCTURAL MEMBERS ARE TO REMAIN INTACT AND UNAUTHORIZED DURING CONSTRUCTION. REPLACE AND REPAIR WITH EQUIVALENT FIRE SAFING MATERIAL DAMAGED DURING CONSTRUCTION.

DEMOLITION NOTES

1. DEMOLITION INCLUDES COMPLETE REMOVAL, DISPOSAL, OR SALVAGE OF SPECIFIED WORK WHERE INDICATED OR NOTED ON PLANS.
2. SUBMIT PROPOSED METHODS AND OPERATION OF DEMOLITION TO TENANT/BUILDING FOR REVIEW PRIOR TO START OF WORK. INCLUDE IN SCHEDULE COORDINATION FOR SHUTOFF, CAPPING, AND CONTINUATION OF UTILITY SERVICES AS REQUIRED.
3. KEEP STAIRWAYS AND FIRE ESCAPES UNOBSTRUCTED AND AVAILABLE FOR USE AT ALL TIMES DURING DEMOLITION.
4. ALL SALVAGE SURPLUS BUILDING MATERIALS, HARDWARE, DOOR FRAMES, FIRE EXTINGUISHERS, LIGHT FIXTURES, CARPETS, CEILING TILES, ETC. NOT INDICATED TO BE RELOCATED OR REUSED SHALL BE TURNED OVER TO THE OWNER FOR PROPER REPAIRS. BUILDING SHALL HAVE, SCHEDULE REMOVAL, ALL OTHER EXISTING FINISHES ARE TO BE REMOVED, USED.

FURNITURE/TELEPHONE/ELECTRIC (FTE) NOTES

1. REFER TO ENGINEERING DRAWINGS

LOCATION PLANS

SITE PLAN

SYMBOL LEGEND

SHEET NUMBER

SECTION ELEVATION TARGETS

ROOM TITLES AND NUMBER

DOOR NUMBER

PLAN BLOW-UP TARGETS
DETAIL BLOW-UP TARGETS

PARTITION TYPE INDICATOR

ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR	D.S.	DOWN SPOUT	HR.	HOUR	TOWF	TOWFORGING		
A.H.J.	ALUMINUM HANDS	E.E	EACH EDGE	HDCP	HANDICAPPED	WCDL	WELDED		
	ALUMINUM	E.J.	EXPANSION JOINT	HDWD.	HARDWOOD	F.O.	ROOF DRAIN		
ACOUS.	ACOUSTICAL	ELECT.	ELECTRICAL	I.D.	INSIDE DIMENSION	R.A.	RISER		
ADJ	ADJACENT	EL.	ELEVATION(GRADE)	JST.	JOIST	S.C.	SOL. COCK		
ALUM.	ALUMINUM	ELEV	ELEVATION	JT	JOINT	SH.	SHEET		
&	AND	ENTR.	ENTRANCE	L.	LENGTH		SHEET METAL		
L	ANGLE	E.P.	ELECTRICAL PANEL	LAM.	LAMINATE	SPEC	SPECIFICATION		
APPROX.	APPROXIMATELY	EQ.	EQUAL	LOC.	LOCATION	S.S.	STAINLESS STEEL		
BLDG.	BUILDING	E.W.C	ELEC. WATER COOLER	MAX.	MAXIMUM	STR	STAIRWAY		
BLK	BLOCK	EXP.	EXPANSION	MECH.	MECHANICAL	STRUCT.	STRUCTURAL		
B.M.	BENCHMARK	EXP.	EXPANSION	MIN	MINIMUM	SQ.	SQUARE		
BTWN.	BETWEEN	F.B.	FLOOR DRAIN	M.O.	MASONRY OPENING	TEMP.	TEMPERED		
C.B.	CATCH BASIN	F.E.	FIRE HYDRANT	MFR	MANUFACTURER	TGSB	TONGUED		
℄	CENTERLINE	FIN	FINISH	M.T.	METAL PARE/SHELD	TMB	TAB & GROOVE		
C.T	CERAMIC TILE	F.F	FINISH FLOOR	MTD.	MOUNTED	T.P.	TELEPHONE PANEL		
C	CHANNEL	FL.	FLOOR	MTL.	METAL	TYP.	TYPICAL		
C.J.	CONTROL JOINT	FT.	FEET	N.I.C.	NOT IN CONTRACT	U.L.	UNDERWRITER LABS.		
CLG	CEILING	GA.	GAUGE	NO.	NUMBER	U.N.O.	UNLESS NOTED OTHERWISE		
COL.	COLUMN	GALV	GALVANIZED	N.T.S.	NOT TO SCALE	V.C.T	VINYL COMP. TILE		
COMP.	COMPACTED	G.C.	GENERAL CONTRACTOR	O.C.	ON CENTER	VERT.	VERTICAL		
CONC.	CONCRETE	GDY.	GENERAL	O.H.	OVERHEAD	V.I.F.	VERIFY IN FIELD		
CONT.	CONTINUOUS	GL.	GLASS	OPNG.	OPENING	V.T.	VINYL TILE		
CONTR.	CONTRACTOR	GYP BD.	GYPSUM BOARD	P.C.	PULPUL COUPLER	V.T.B.	VCT THRU BODY		
D.	DEPTH	HDR.	HEADER	PL.	PLATE	W.A.P.	WIRELESS ACCESS POINT		
DET.	DETAIL	H.M.	HOLLOW METAL	POL.	POLISHED	W.	WIDE		
D.F.	DRINKING FOUNTAIN	HORIZ.	HORIZONTAL	PR.	PAIR	W/	WITH		
Ø	DIAMETER(DIA.)	H.P.	HIGH POINT	PT	POINT	BD.	BOARD		
DN.	DOWN			S.	SQUARE	WP.	WORK POINT		
DR.	DOOR								

INDEX OF DRAWINGS

NO.	TITLE					
	SITE SURVEY, CODE AND PROJECT INFORMATION	●	●	●	●	●
	CODE					
					●	●
					●	●
					●	●
					●	●
					●	●
	ARCHITECTURAL					
		●		●		
		●		●		
		●		●

SITE PLAN DEMOLITION NOTES:

1 PORTION OF EXISTING CURB TO BE REMOVED

2 PORTION OF EXISTING SIDEWALK TO BE REMOVED

3 NO EXISTING TREES ARE TO BE REMOVED

4 EXISTING WALL MOUNTED LIGHTING FIXTURE TO REMAIN NO CHANGES PROPOSED

EXISTING IMPERVIOUS SURFACES:

BUILDING	2,058 S.F.
ASPHALT (WITHIN P.L.)	310 S.F.
SIDEWALK (WITHIN P.L.)	316 S.F.
TOTAL EXISTING	**2,684 S.F.**
BUILDING COVERAGE:	**2,058 S.F. / 3,958 S.F. = 51.2%**
EXISTING IMPERVIOUS COVERAGE:	**2,684 S.F. / 3,958 S.F. = 67.8%**

CONSTRUCTION SEQUENCE:

1 NO WORK IS TO OCCUR THAT WILL IMPACT THE FLOW OF TRAFFIC AT ASHFORD AVE.

2 PROVIDE EROSION AND SEDIMENT CONTROLS AS PER THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO ENSURE ADJACENT ROADWAY IS CLEAR OF DEBRIS AND EROSION.

3 EXISTING CURBING AND SIDEWALK IS TO BE REMOVED.

4 ALL DEBRIS IS TO BE PROPERLY STORED AND DISPOSED OF AT END OF WORK DAY FOR EVERY DAY OF CONSTRUCTION

5 PROVIDE NEW SIDEWALK AND CURB AT PROPOSED LOCATION.

6 EXCAVATE AND INSTALL PROPOSED STORMWATER CULTECS AS PER MANUFACTURER'S SPECIFICATION (SEE C-201.00)

7 INSTALL THE PROPOSED AREA DRAIN AT PARKING AREA AND CONNECT ALL DRAINAGE SYSTEMS.

8 PROVIDE NEW ASPHALT PAVEMENT AT PROPOSED PARKING AREAS.

9 ENSURE ALL AREAS ARE FREE OF DEBRIS AT END OF CONSTRUCTION.

ZONING COMPLIANCE TABLE

Property Address(es)	398 ASHFORD AVENUE
Zoning District(s)	D1
Block/Lot	Block 19, Lot 01
Structure / Use Type(s)	RESIDENTIAL

Item	Required / Permitted	Existing	Proposed	Variance Requested	Remarks
Lot Area (square feet)		3,958	3,958	NO	
Front Yard Setback (feet)	0	8.00	8.00	NO	
Rear Yard Setback (feet)	25	4.00	4.00	NO	EXISTING NON-CONFORMING NO CHANGE PROPOSED
Side Yard Setback (each side) (feet)	5	0.80	0.80	NO	
Side Yard Setback (total) (feet)	10	16.73	16.73	NO	
Building Coverage (%)	40	51.25	51.25	NO	
Impervious Coverage (%)	40	67.85	91.75	YES	
Building Height (feet)	3 STORIES / 35	3 STORIES / 30	3 STORIES / 30	NO	

SITE PLAN LEGEND:

1 PROPOSED AREA DRAIN SEE C-001.00 "PROPOSED STORMWATER MANAGEMENT PLAN FOR DRYWELL LOCATION & DETAILS

2 PROPOSED BELGIAN BLOCKS CURB AT SIDE OF BUILDING

3 EXISTING SIDEWALK TO BE CUT AND NEW 6" CURB IS TO BE PROVIDED

4 NEW (1) CONCRETE STEP

5 EXISTING CONCRETE STEPS TO REMAIN

6 NEW STEEL BOLLARDS

7 EXISTING METAL GUARD RAIL TO REMAIN

8 NEW (2) TWO PARKING SPACES. EXISTING SIDEWALK TO BE CUT TO ACCOMMODATE NEW PARKING SPACES AS SHOWN IN DRAWING. NEW SIDEWALK TO BE MIN. 4'-0"

9 EXISTING WALL-MOUNTED LIGHTING FIXTURE

10 PROPOSED PEDESTRIAN RAMP

11 PROPOSED SEGMENTAL BLOCK GRAVITY WALL MAX HEIGHT 4'-0", TO BE FILED UNDER SEPERATE APPLICATION

SITE PLAN NOTES:

1 ALL SNOW ON SITE IS TO BE CARTED AWAY.

2 STANDARD EROSION CONTROL AS PER THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO BE PROVIDED

3 CUT/FILL MATERIAL NOT TO BE IMPORTED TO OR EXPORTED FROM THE SITE

4 ALL RIGHT OF WAY IMPROVEMENTS SHALL CONFORM TO THE VILLAGE OF DOBBS FERRY STANDARDS

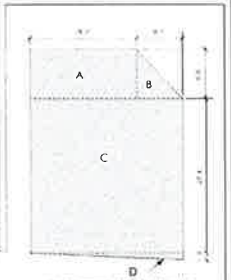
5 SOLID WASTE CONTAINERS ARE LOCATED AT THE REAR OF THE BUILDING AND ARE TRANSPORTED TO FRONT OF PROPERTY FOR COLLECTION

6 PROPOSED CONSTRUCTION DOES NOT AFFECT ANY EXISTING UTILITIES

7 PARKING LOT TO BE ATTENDED TO ALLOW FOR ACCESS TO AND FROM PARKING SPACES 7-8

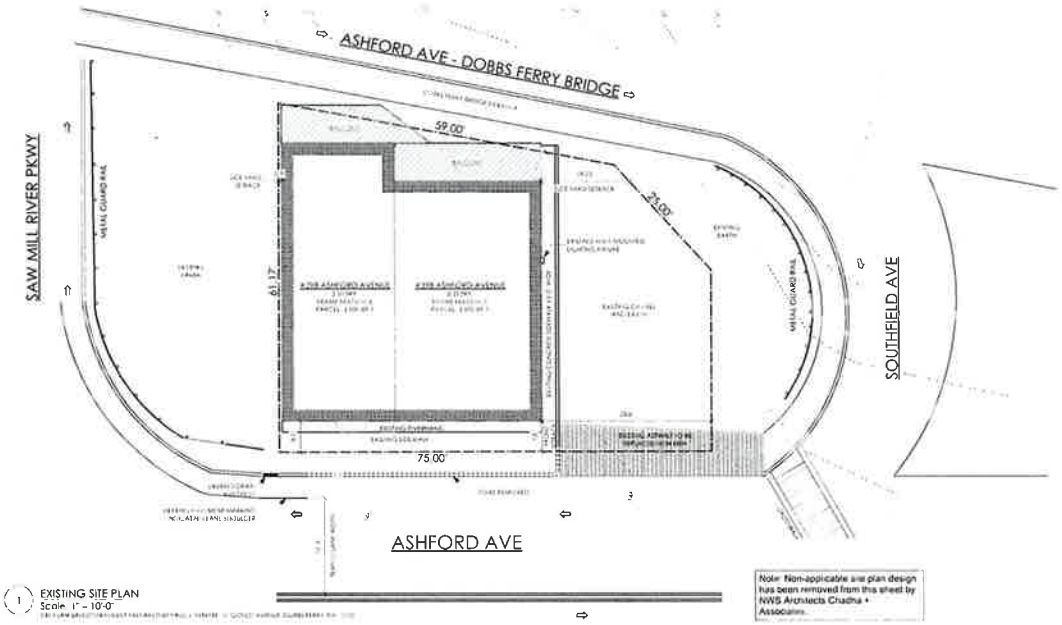
8 EASEMENT AGREEMENT IS TO BE CREATED WITH OWNER OF ADJACENT PROPERTY TO ALLOW PROPOSED PARKING SPACES OUTSIDE OF PROPERTY LINE IN THE R.O.W.

9 ALL WORK PROPOSED WITHIN COUNTY R.O.W. MUST RECEIVE PROPER APPROVAL BEFORE ANY WORK MAY COMMENCE WITHIN THE COUNTY R.O.W.



PROPOSED IMPERVIOUS AREA

AREA A 18'-9"X8'-8"	163 S.F.	TOTAL NEW IMPERVIOUS AREA	948 S.F.
AREA B 4'-1"X8'-8 1/2"	35 S.F.	TOTAL IMPERVIOUS COVERAGE	3,632 S.F.
AREA C 57'-4"X26'-10"	733 S.F.		91.7%
AREA D 2'-4"X1'-3"X8 1/2"	17 S.F.	VARIANCE REQUIRED	



1 EXISTING SITE PLAN
Scale: 1" = 10'-0"

Note: Non-applicable site plan design has been removed from this sheet by NWS Architects Chadha + Associates.

BADALY

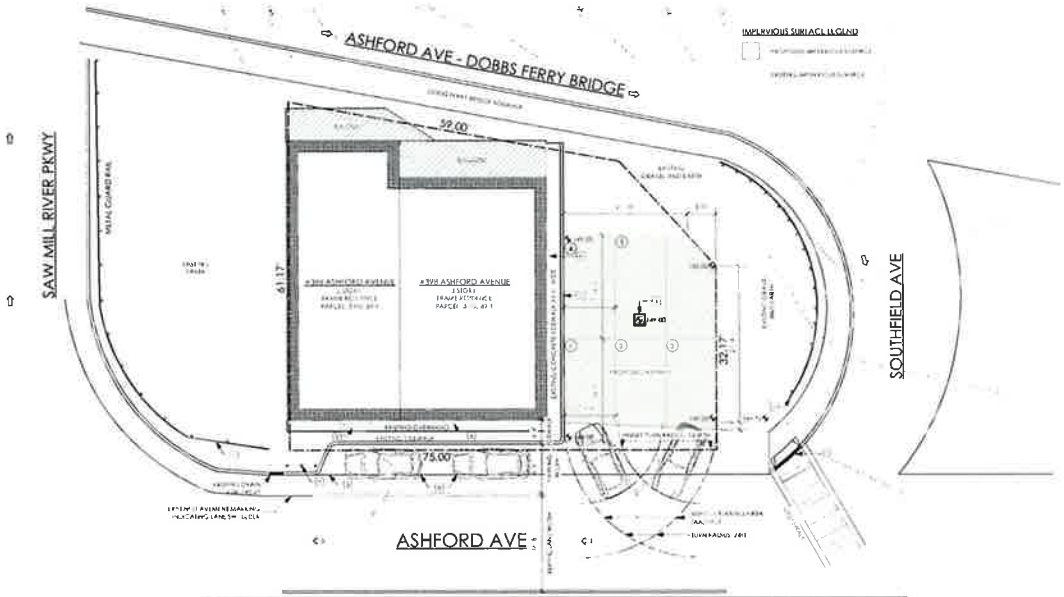
BADALY ENGINEERING PLLC

EXTERIOR ALTERATIONS:

398 ASHFORD AVE
DOBBS FERRY, NY 10522

SITE PLAN & ZONING ANALYSIS

C-100.00



PARKING ANALYSIS			
EXISTING		PROPOSED	
MIXED USE STRUCTURE		RESIDENTIAL MULTI-FAMILY DWELLING	
5 Residential + 3 office/commercial ground floor		1 SPACE PER D.U. + 0.25 SPACES PER BEDROOM	
TYPE	EXISTING PARKING	TYPE	PARKING REQUIRED
(4) 1-BED UNITS	2	(4) 1-BED UNITS	EXISTING
(1) 2-BED UNIT	1	(1) 2-BED UNIT	EXISTING
OFFICE SPACE	NONE	3 ADDED UNITS	4 ADDITIONAL SPACES
TOTAL	3 SPACES REQUIRED	TOTAL	7 SPACES REQUIRED
PROVIDED	3 SPACES	PROVIDED	7 SPACES

NOTE: PROPOSED IMPROVEMENTS DECREASE PARKING NON-CONFORMITY ON SITE.
TOTAL REQUIRED PARKING IS REDUCED BY 2 SPACES

1 PROPOSED SITE PLAN
Scale: 1" = 10'-0"

BADALY

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EXTERIOR ALTERATIONS:

398 ASHFORD AVE
DOBBS FERRY, NY 10522

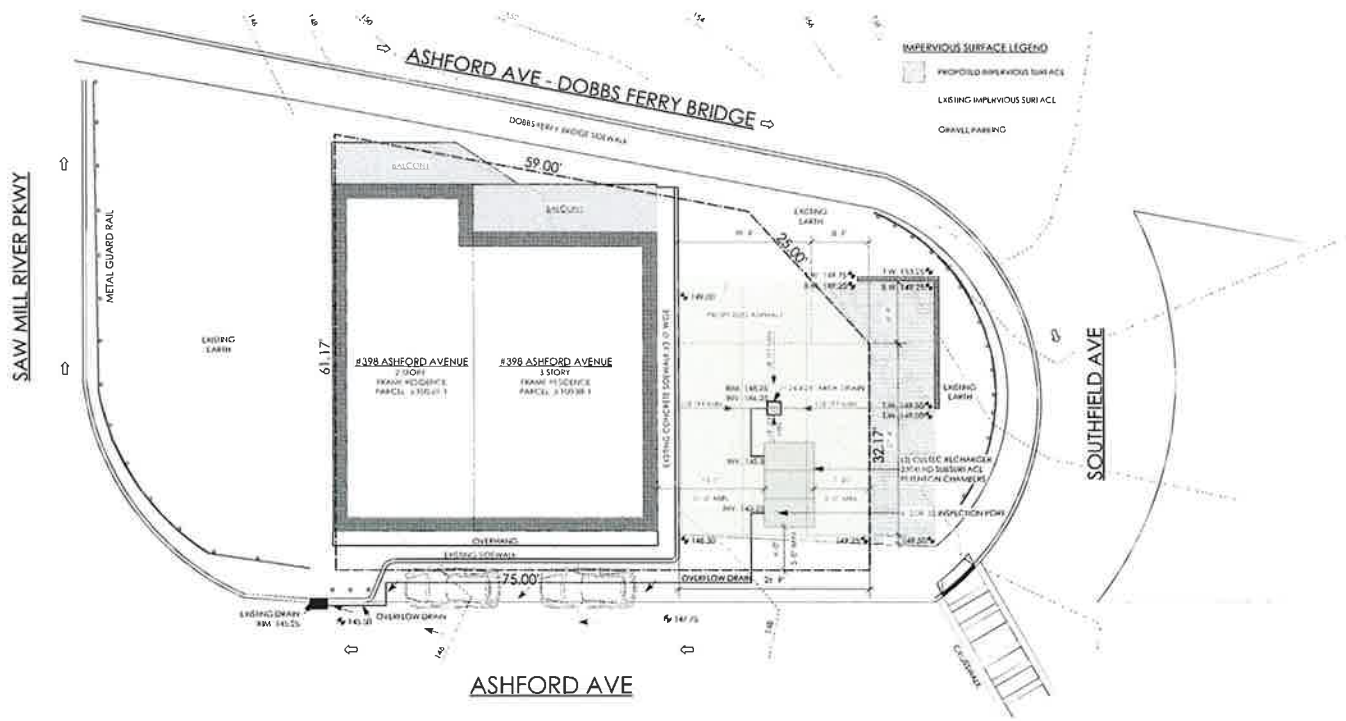
PROPOSED SITE PLAN

C-101.00

3 OF 6

STORMWATER MANAGEMENT NOTES:

1. ALL DRAINAGE PIPING TO BE MIN. 18" EPDM DRAINAGE PIPE ON 1/8" TO 1" FT SLOPE.
2. ALL SNOW ON SITE IS TO BE CARTED AWAY.
3. EXISTING DRAINAGE GUTTER DRAIN TO REMAIN. EXISTING DRAIN FLOWS NORMALLY TOWARDS THE SAW MILL RIVER PARKWAY.
4. THE PROP. CULTEC RETENTION CHAMBERS SHALL NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETE AND THE CONTRIBUTING AREA IS STABILIZED.
5. AREA OF PROP. CULTEC RETENTION CHAMBERS TO BE FENCED OFF DURING CONSTRUCTION.
6. CULTEC RETENTION CHAMBER INSPECTION PORTS TO BE CHECKED ANNUALLY FOR SEDIMENTS.
7. STANDARD EROSION CONTROL AS PER THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL TO BE PROVIDED.
8. CUT/FILL MATERIAL NOT TO BE IMPORTED TO OR EXPORTED FROM THE SITE.
9. THE STORMWATER MANAGEMENT SYSTEM IS DESIGNED AS PER THE REQUIREMENTS OF THE NYS STORMWATER DESIGN MANUAL (JAN. 2015).
10. PROPOSED PARKING SPACES AT FRONT OF BUILDING TO SLOPE TOWARDS EXISTING DRAIN ON ASHFORD AVE. AS INDICATED BY DRAINAGE ARROWS. (ELEVATION 148.5) APPROXIMATE ELEV. AT EXISTING DRAIN 146.25



1 STORMWATER MANAGMENT SITE PLAN
Scale: 1/8" = 1'-0"

BADALY

BADALY ENGINEERING PLLC

EXTERIOR ALTERATIONS:

398 ASHFORD AVE
DOBBS FERRY, NY 10522

STORMWATER POLLUTION PREVENTION PLAN

SCALE: AS NOTED
DATE:
JOB NO.:
DRAWN BY: AK
CHECKED BY:

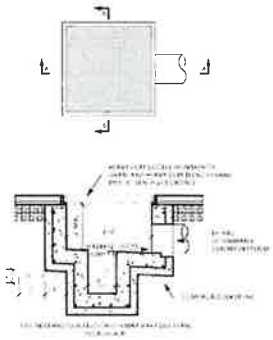
DRAWING NO.
C-200.00

SHEET NO.
4 OF 6

CULTEC RECHARGER® 330XLHD SPECIFICATIONS

CULTEC RECHARGER® 330XLHD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.

1. THE CHAMBERS SHALL BE MANUFACTURED IN THE U.S.A. BY CULTEC, INC. OF BROOKFIELD, CT (CULTEC.COM, 203-775-4416).
2. THE CHAMBER SHALL BE VACUUM THERMOFORMED OF POLYETHYLENE WITH A BLACK INTERIOR AND BLUE EXTERIOR.
3. THE CHAMBER SHALL BE ARCHED IN SHAPE.
4. THE CHAMBER SHALL BE OPEN-BOTTOMED.
5. THE CHAMBER SHALL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
6. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER® 330XLHD SHALL BE 30.5 INCHES (775 MM) TALL, 52 INCHES (1321 MM) WIDE AND 8.5 FEET (2.59 M) LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER® 330XLHD SHALL BE 7 FEET (2.13 M).
7. MAXIMUM INLET OPENING ON THE CHAMBER END WALL IS 24 INCHES (600 MM) HDPE, PVC.
8. THE CHAMBER SHALL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV® FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. MAXIMUM ALLOWABLE O.D. IN THE SIDE PORTAL IS 10 INCHES (250 MM) HDPE AND 12 INCHES (300 MM) PVC.
9. THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC HVLV® FC-24 FEED CONNECTOR SHALL BE 12 INCHES (305 MM) TALL, 16 INCHES (406 MM) WIDE AND 24.2 INCHES (614 MM) LONG.
10. THE NOMINAL STORAGE VOLUME OF THE RECHARGER® 330XLHD CHAMBER SHALL BE 7.459 FT3 / FT (0.693 M3 / M) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A SINGLE RECHARGER® 330XLRHD STAND ALONE UNIT SHALL BE 63.40 FT3 (1.80 M3) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF A JOINED RECHARGER® 330XLIHD INTERMEDIATE UNIT SHALL BE 52.213 FT3 (1.478 M3) - WITHOUT STONE. THE NOMINAL STORAGE VOLUME OF THE LENGTH ADJUSTMENT AMOUNT PER RUN SHALL BE 11.19 FT3 (1.04 M3) - WITHOUT STONE.
11. THE NOMINAL STORAGE VOLUME OF THE HVLV® FC-24 FEED CONNECTOR SHALL BE 0.913 FT3 / FT (0.026 M3 / M) - WITHOUT STONE.
12. THE RECHARGER® 330XLHD CHAMBER SHALL HAVE FIFTY-SIX DISCHARGE HOLES BORED INTO THE SIDEWALLS OF THE UNIT'S CORE TO PROMOTE LATERAL CONVEYANCE OF WATER.
13. THE RECHARGER® 330XLHD CHAMBER SHALL HAVE 16 CORRUGATIONS.
14. THE END WALL OF THE CHAMBER, WHEN PRESENT, SHALL BE AN INTEGRAL PART OF THE CONTINUOUSLY FORMED UNIT. SEPARATE END PLATES CANNOT BE USED WITH THIS UNIT.
15. THE RECHARGER® 330XLRHD STAND ALONE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO FULLY FORMED INTEGRAL END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS.
16. THE RECHARGER® 330XLSHD STARTER UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL END WALL AND ONE PARTIALLY FORMED INTEGRAL END WALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 MM) HIGH X 34.5 INCHES (876 MM) WIDE.
17. THE RECHARGER® 330XLIHD INTERMEDIATE UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY OPEN END WALL AND ONE PARTIALLY FORMED INTEGRAL END WALL WITH A LOWER TRANSFER OPENING OF 14 INCHES (356 MM) HIGH X 34.5 INCHES (876 MM) WIDE.
18. THE RECHARGER® 330XLEHD END UNIT MUST BE FORMED AS A WHOLE CHAMBER HAVING ONE FULLY FORMED INTEGRAL END WALL AND ONE FULLY OPEN END WALL AND HAVING NO SEPARATE END PLATES OR END WALLS.
19. THE HVLV® FC-24 FEED CONNECTOR MUST BE FORMED AS A WHOLE CHAMBER HAVING TWO OPEN END WALLS AND HAVING NO SEPARATE END PLATES OR SEPARATE END WALLS. THE UNIT SHALL FIT INTO THE SIDE PORTALS OF THE RECHARGER® 330XLHD AND ACT AS CROSS FEED CONNECTIONS.
20. CHAMBERS MUST HAVE HORIZONTAL STIFFENING FLEX REDUCTION STEPS BETWEEN THE RIBS.
21. THE CHAMBER SHALL HAVE A RAISED INTEGRAL CAP AT THE TOP OF THE ARCH IN THE CENTER OF EACH UNIT TO BE USED AS AN OPTIONAL INSPECTION PORT OR CLEAN-OUT.
22. THE UNITS MAY BE TRIMMED TO CUSTOM LENGTHS BY CUTTING BACK TO ANY CORRUGATION ON THE LARGE RIB END.
23. THE CHAMBER SHALL BE MANUFACTURED IN AN ISO 9001:2015 CERTIFIED FACILITY.
24. MAXIMUM ALLOWABLE COVER OVER THE TOP OF THE CHAMBER SHALL BE 12' (3.66 M).
25. THE CHAMBER SHALL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS.



2 24"X24" CATCH BASIN DETAIL
Scale: 3/4" = 1'-0"

BADALY

BADALY ENGINEERING PLLC
2 Wilson Pl, Mt Vernon, NY 10550

PROJECT:	398 ASHFORD AVE	May 12, 2021	
DESCRIPTION:	STORMWATER RETENTION	1 OF 1	
	DRYWELL DESIGN	AK CHK'D:	SB

SITE STORMWATER DRAINAGE DESIGN

THE FOLLOWING DRAINAGE DESIGN HAS BEEN CALCULATED BASED OFF THE PROCEDURE OUTLINED IN THE WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES STORMWATER MANUAL (1984 EDITION)

SITE AREAS

	AREA (FT²)	AREA (AC)
ROOF	0	0.0000
PAVED	948	0.0218
GRASS	0	0.0000
SITE	948	0.0218

MAXIMUM REQUIRED DETENTION VOLUME

TOTAL DRAINAGE AREA = 948.0 SF
RAINFALL INTENSITY, I = 7.2 IN/HR

ASSUME HYDROLOGIC SOIL GROUP C
CURVE NUMBERS & RUNOFF DEPTHS DETERMINED FROM TABLE 3-2 & 3-4

RUNOFF COEFFICIENT = 98 FOR ROOF AREA
RUNOFF COEFFICIENT = 98 FOR PAVED AREA
RUNOFF COEFFICIENT = 74 FOR GOOD CONDITION GRASS AREA

WEIGHTED RC = 98.0 FOR DEVELOPPED SITE

FOR PRE-DEVELOPED SITE W/ OPEN SPACE AND FAIR CONDITION GRASS
RUNOFF COEF. = 79

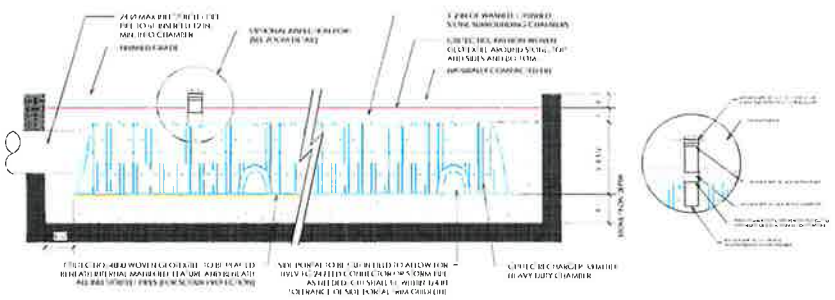
FOR A 100 YEAR STORM WITH A RAINFALL DEPTH OF 7.2 INCHES, USING INTERPOLATION
(V_r) = 6.96 IN FOR DEVELOPPED SITE
(V_r) = 4.77 IN FOR EXISTING SITE
REQUIRED VOL. = $\Delta(V_r)$ x SITE AREA
REQUIRED VOL. = 173.0 CF

USE CULTEC RECHARGER 330XLHD RETENTION CHAMBERS:

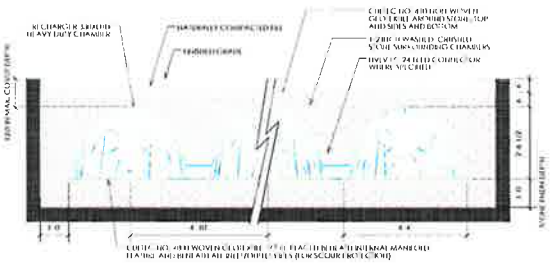
OF CHAMBERS = 3
AREA PER CHAMBER = 33.83 SF
CHAMBER STORAGE = 52.21 CF
INSTALLED STORAGE = 79.26 CF

PROPOSED STORMWATER RETENTION CHAMBER VOLUME

V_{total} = 237.8 CF > 173.0 OK



1 CULTEC RECHARGER 330XLHD CROSS-SECTION
Scale: 1/2" = 1'-0"



BADALY

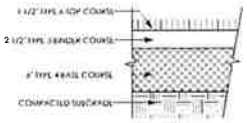
BADALY ENGINEERING PLLC

EXTERIOR ALTERATIONS:

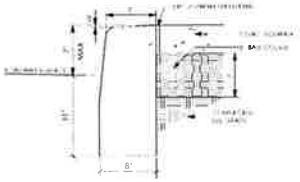
398 ASHFORD AVE
DOBBS FERRY, NY 10522

STORMWATER CALCULATIONS & SUBSURFACE RETENTION SYSTEM DETAILS

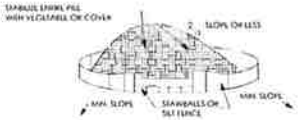
C-201.00



1 PAVEMENT DETAIL
Scale: 1 1/2" = 1'-0"



2 SIDEWALK CURB CONSTRUCTION DETAIL
Scale: 1 1/2" = 1'-0"



INSTALLATION NOTES

1. AREA CHOSEN FOR STOCKPILED OPERATIONS SHALL BE DRY AND STABLE.

2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTION OF SITE WITH ADEQUATE SETBACKS FROM TEMPORARY DRAINAGE SWALES.

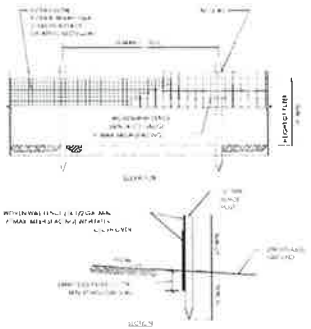
3. MAXIMUM SLOPE STOCKPILE SHALL BE 1 TO 2.

4. UPON COMPLETION OF SOIL STOCKPILING EACH PILE SHALL BE SURROUNDED WITH SILT FENCING OR STRAWBALLS THEN STABILIZED WITH VEGETABLE OR COVERED.

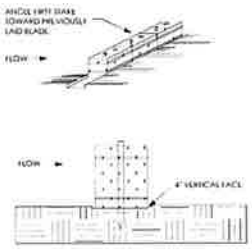
5. STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDED AND MULCHED OR COVERED WITH CLOTH. FILL FABRIC SURROUNDED BY SILT FENCE.

6. SEE SPECIFICATIONS AND DETAILS FOR INSTALLATION OF SILT FENCE.

3 SOIL STOCKPILE DETAIL
Scale: 1/4" = 1'-0"



4 SILT FENCE DETAIL
Scale: 1/4" = 1'-0"



BEDDING DETAIL

NOTES

1. BALES SHALL BE PLACED AT THE TOE OF THE SLOPE OR ON THE CONTOUR AND IN A ROW WITH END TIGHTLY ABUTTING IN ADJACENT BALES.
2. EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4 INCHES AND PLACED SO THE BINDING ARE HORIZONTAL.
3. BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES ON REBARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
4. INSPECTION SHALL BE MADE FREQUENTLY AND REPAIR SHALL BE MADE PROMPTLY AS NEEDED.
5. BALES SHALL BE REMOVED WHEN THEY SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

5 HAYBALE DETAIL
Scale: 1/4" = 1'-0"

BADALY

BADALY ENGINEERING PLLC

REV.	DESCRIPTION

REVISIONS	

EXTERIOR ALTERATIONS:

398 ASHFORD AVE
DOBBS FERRY, NY 10522

SITE DETAILS

SCALE: AS NOTED
DATE: 11/18/2021
DRAWN BY: AK
CHECKED BY: NB

STATE OF NEW YORK

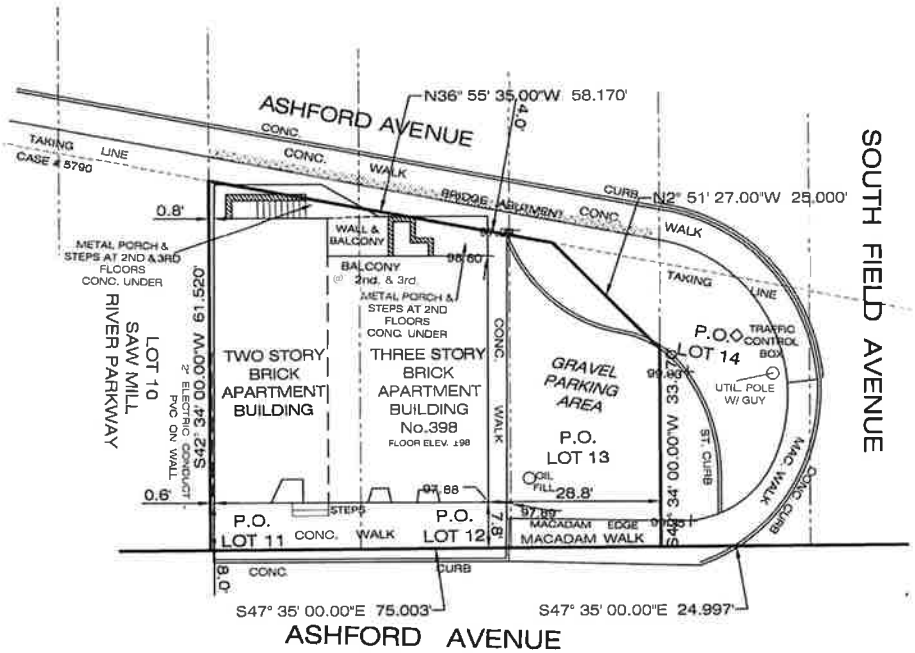
C-300.00

SHEET: 6 OF 6

JOB NUMBER: RO. 1299 - 11

LEGEND

- CATCH BASIN
- DRAIN INLET
- UTILITY POLE
- SIGN POST
- HYDRANT
- WV WATER VALVE
- GV GAS VALVE
- LIGHT POLE
- TRAFFIC POLE
- (T) TELE. MANHOLE
- ELECTRIC BOX
- (S) SEWER MANHOLE
- (W) WATER MANHOLE
- (E) ELECTRIC MANHOLE
- (D) DRAIN MANHOLE
- (M) MANHOLE



GABRIEL E. SENOR, P.C.

CONSULTING ENGINEER • LAND SURVEYOR

90 NORTH CENTRAL AVE. HARTSDALE, NEW YORK 10530

(914) 472-0070 FAX 472-3009

Possession NOT indicated

This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for New York State Association of Land Surveyors. This Survey is a representation of the property as surveyed on March 12, 2021, the date that the field work was performed. Subsequent revision dates do not constitute an updated survey.

Eliot Senor, L.S. New York State Lic. No. 049822

Copies of the survey map not bearing the land surveyor's original blue signature and embossed seal shall not be considered to be a true and valid copy. Copyright Gabriel E. Senor, P.C., 2021. ALL RIGHTS RESERVED.

A Title report lists easements and restrictions if the report was not provided these easements and or restrictions may not be shown . A copy of the title report was not provided. A copy of the deed was provided. Survey may be subject to easements not shown.

Surface elevations and underground appurtenances, if any, whether or not shown are not guaranteed.Fences or possession lines generally do not follow a straight line. The survey shows straight lines between located points. Any dimensions shown are to the surveyed point only. Labeled dimensions cannot be used for any other point along the line.

Unauthorized alteration or additions to the survey map is a violation of Section 7209 sub-section 2 of the New York State Education Law

NOT FOR TITLE TRANSFER

SURVEY OF PART OF

LOT Nos.11,12 & 13

AS SHOWN ON MAP OF PROPERTY AT

ASHFORD

LATELY BELONGING TO MEYER H. MEYER AND NOW PARTLY LAID OUT IN BUILDING LOTS FOR E.G. CUNNINGHAM LOCATED IN THE

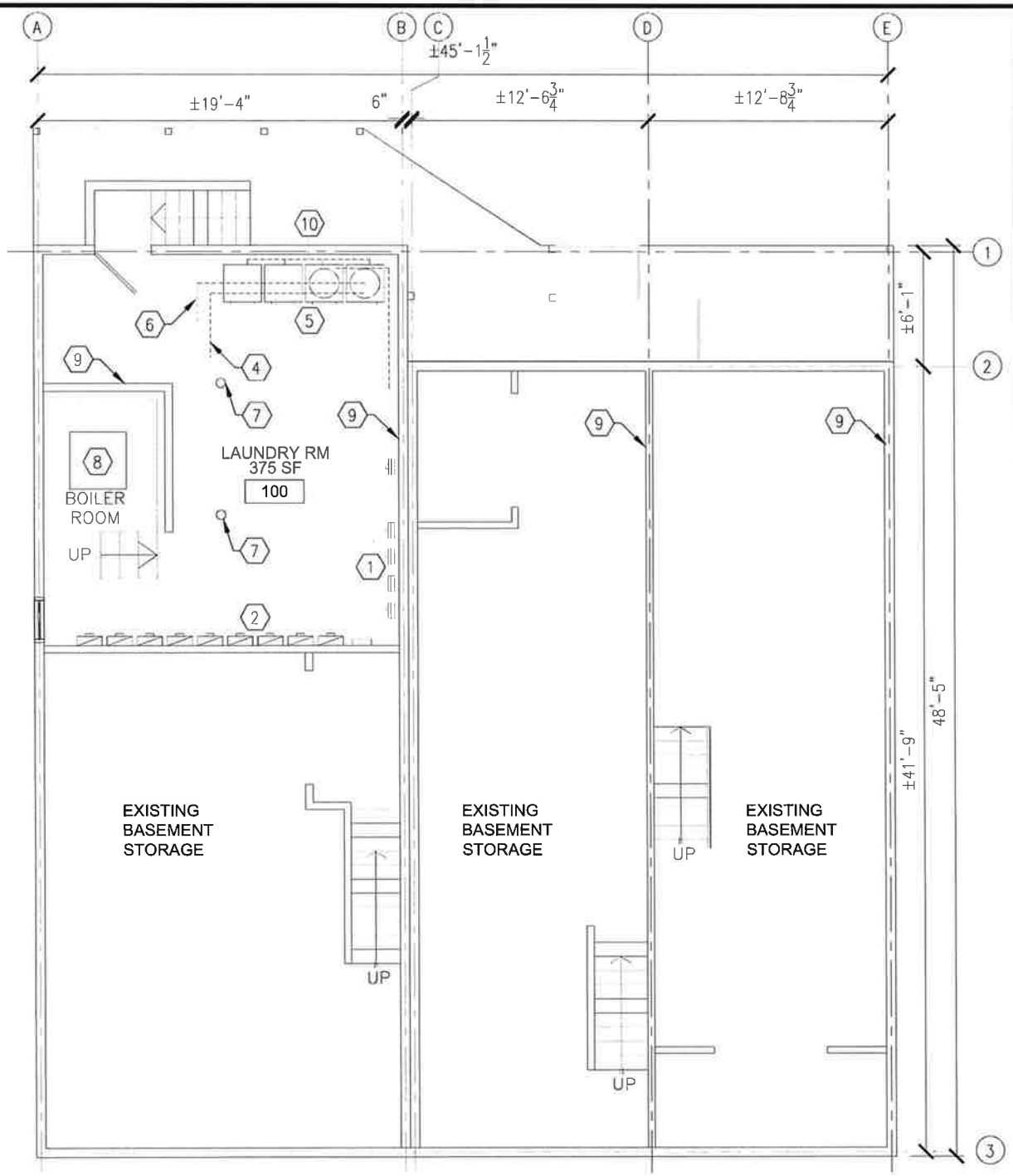
VILLAGE OF DOBBS FERRY
TOWN OF GREENBURGH

WESTCHESTER COUNTY, NEW YORK.

SCALE: 1" = 20' DATE: MARCH 12, 2021

THE PREMISES SHOWN HEREON ALSO BEING KNOWN AS TAX LOTS 11,12 AND 13, SHEET 22, SECTION 9, BLOCK 476.

Said "Map" Is filed In the Westchester County Clerk's office, Division of Land Records, on February 6, 1897 as R.O. Map number 1299.



1 A2.0 EXISTING / PROPOSED BASEMENT FLOOR
SCALE: 1/4" = 1'-0"

SCALE 1/4" = 1'-0"

KEY NOTES

1. EXISTING GAS METERS.
2. EXISTING ELECTRICAL PANELS AND METERS.
3. NOT APPLICABLE.
4. EXISTING GAS LINE.
5. EXISTING WASHERS AND DRYERS.
6. EXISTING WATER SUPPLY.
7. EXISTING STRUCTURAL COLUMN TO REMAIN.
8. EXISTING BOILER EQUIPMENT.
9. EXISTING INTERIOR WALLS.
10. EXISTING VENTILATION FOR THE EXISTING WASHERS AND DRYERS.

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MT. VERNON, NY 10550

LAND SURVEYOR
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NEW YORK STATE LICENSE # 049822
GABRIEL E. SENOR, P.C.
90 NORTH CENTRAL AVENUE,
HARTSDALE, NY 10530

CLIENT
ASHFORD DOBBS LLC
56 Main Street
Hastings on Hudson, NY 10705

PROJECT
398 ASHFORD
RESIDENTIAL BUILDING
DOBBS FERRY, NY 10522

ISSUED FOR

NO.	DESCRIPTION	DATE
5	ISSUE FOR BOARD OF TRUSTEES	07/30/2021
4	ISSUE FOR BOARD OF TRUSTEES	07/23/2021
3	ISSUE FOR BOARD OF TRUSTEES	06/30/2021
2	ADDENDUM1	01/21/2021
1	ISSUE FOR PERMIT	03/19/2020

SHEET TITLE
BASEMENT FLOOR
EXISTING / PROPOSED
PLAN

SHEET NO.
A2.0

C+A JOB NO. 5421-01

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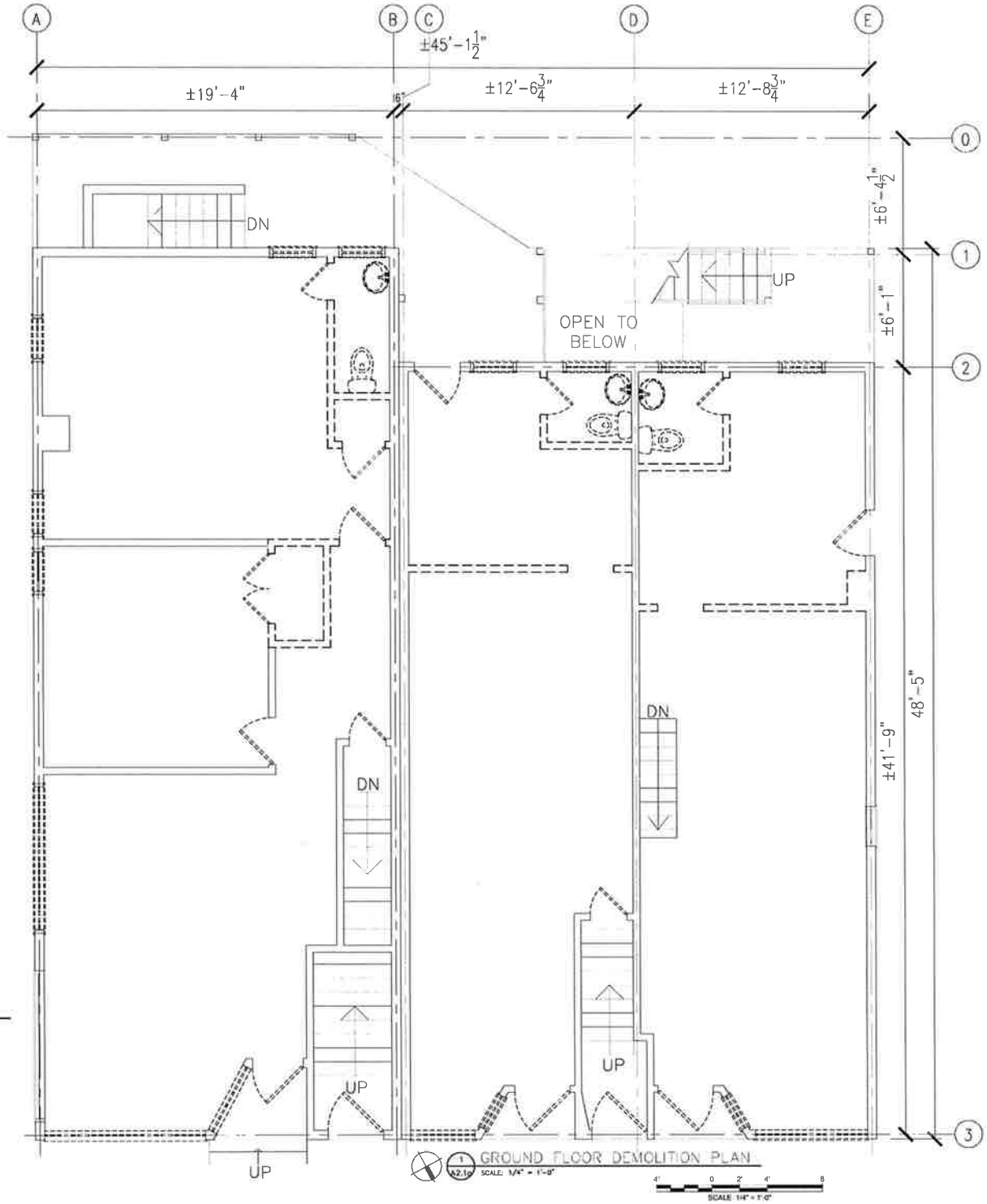

GR FLOOR NOTES

1. EXISTING PLUMBING FIXTURES TO BE REPLACED.
2. ELECTRICAL WORK TO BE DESIGN BUILD BY ELECTRICAL CONTRACTOR.
3. EXISTING OPENING WINDOWS TO REMAIN.

SYMBOL LEGEND

- EMERGENCY LIGHT– CEILING MOUNTING
- EXIT SIGN – ONE DIRECTION
- SMOKE DETECTOR – CEILING MOUNTED
- EGRESS PATH (XXXA) DOOR NUMBER
- NEW WALL
- EXISTING WALL
- WINDOW TYPE, SEE SHEET A4.1

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1	ISSUE FOR PERMIT	03/19/2020

SHEET TITLE
GROUND FLOOR
DEMOLITION PLAN

SHEET NO.
A2.1a

C+A JOB NO. 5421-01

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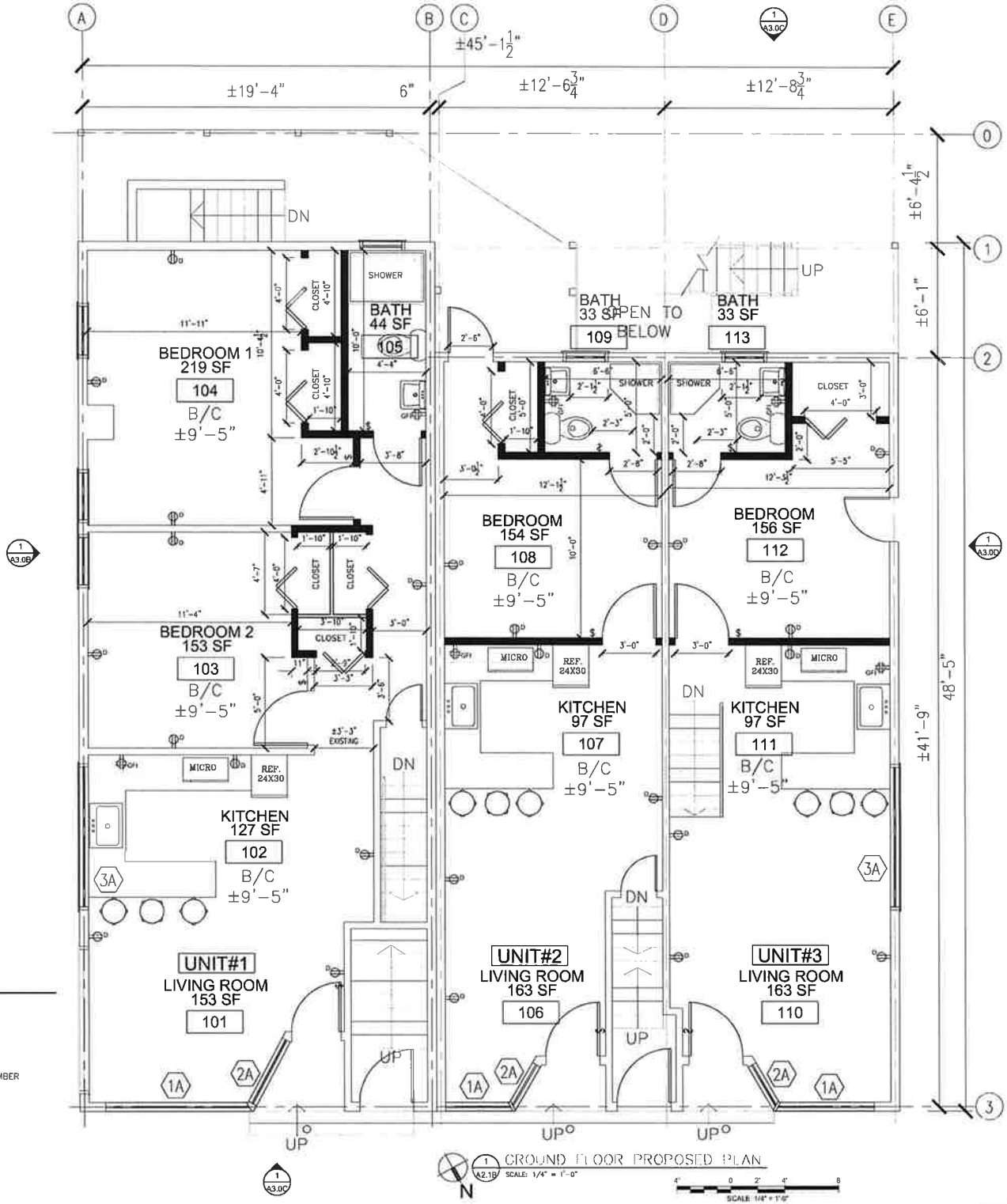

1 A2.1B GROUND FLOOR PROPOSED PLAN
SCALE: 1/4" = 1'-0"

GR FLOOR NOTES

1. EXISTING PLUMBING FIXTURES TO BE REPLACED.
2. ELECTRICAL WORK TO BE DESIGN BUILD BY ELECTRICAL CONTRACTOR.
3. EXISTING OPENING WINDOWS TO REMAIN.

SYMBOL LEGEND

- EMERGENCY LIGHT– CEILING MOUNTING
- EXIT SIGN – ONE DIRECTION
- SMOKE DETECTOR – CEILING MOUNTED
- EGRESS PATH (XXXA) DOOR NUMBER
- NEW WALL
- EXISTING WALL
- (XX) WINDOW TYPE, SEE SHEET A4.1

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4	ISSUE FOR BOARD OF TRUSTEES	07/23/2021
3	ISSUE FOR BOARD OF TRUSTEES	06/30/2021
2	ADDENDUM1	01/21/2021
1	ISSUE FOR PERMIT	03/19/2020

SHEET TITLE
GROUND FLOOR
PROPOSED PLAN

SHEET NO.
A2.1b

C+A JOB NO. 5421-01

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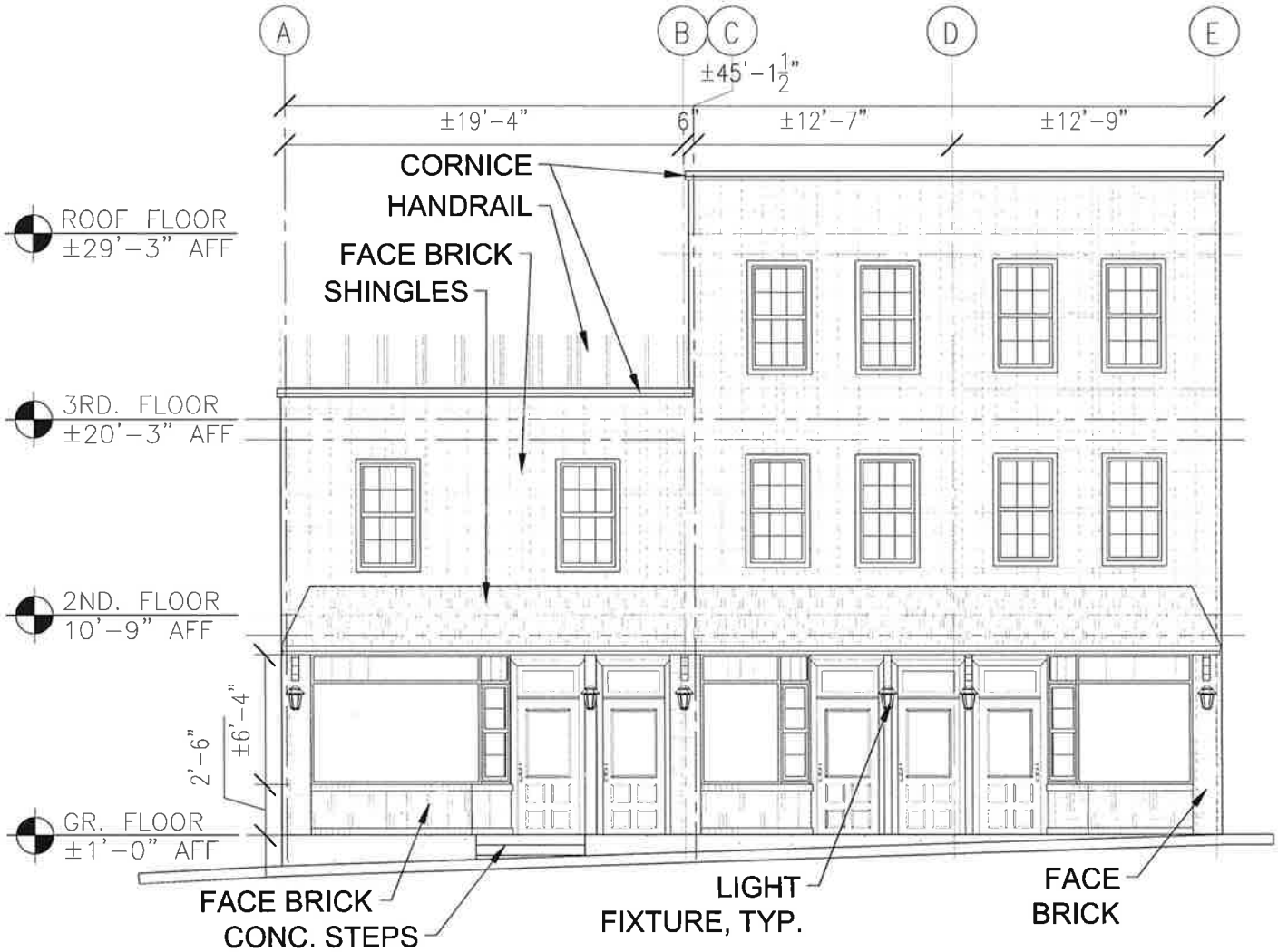

1 NORTH ELEVATION
A3.0a SCALE: 1/4"=1'-0"

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PROJECT
398 ASHFORD
RESIDENTIAL BUILDING
DOBBS FERRY, NY 10522

ISSUED FOR

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3	ISSUE FOR BOARD OF TRUSTEES	06/30/2021
2	ADDENDUM1	01/21/2021
1	ISSUE FOR PERMIT	03/19/2020

SHEET TITLE
EXTERIOR
ELEVATION

SHEET NO.
A3.0a

C+A JOB NO. 5421-01

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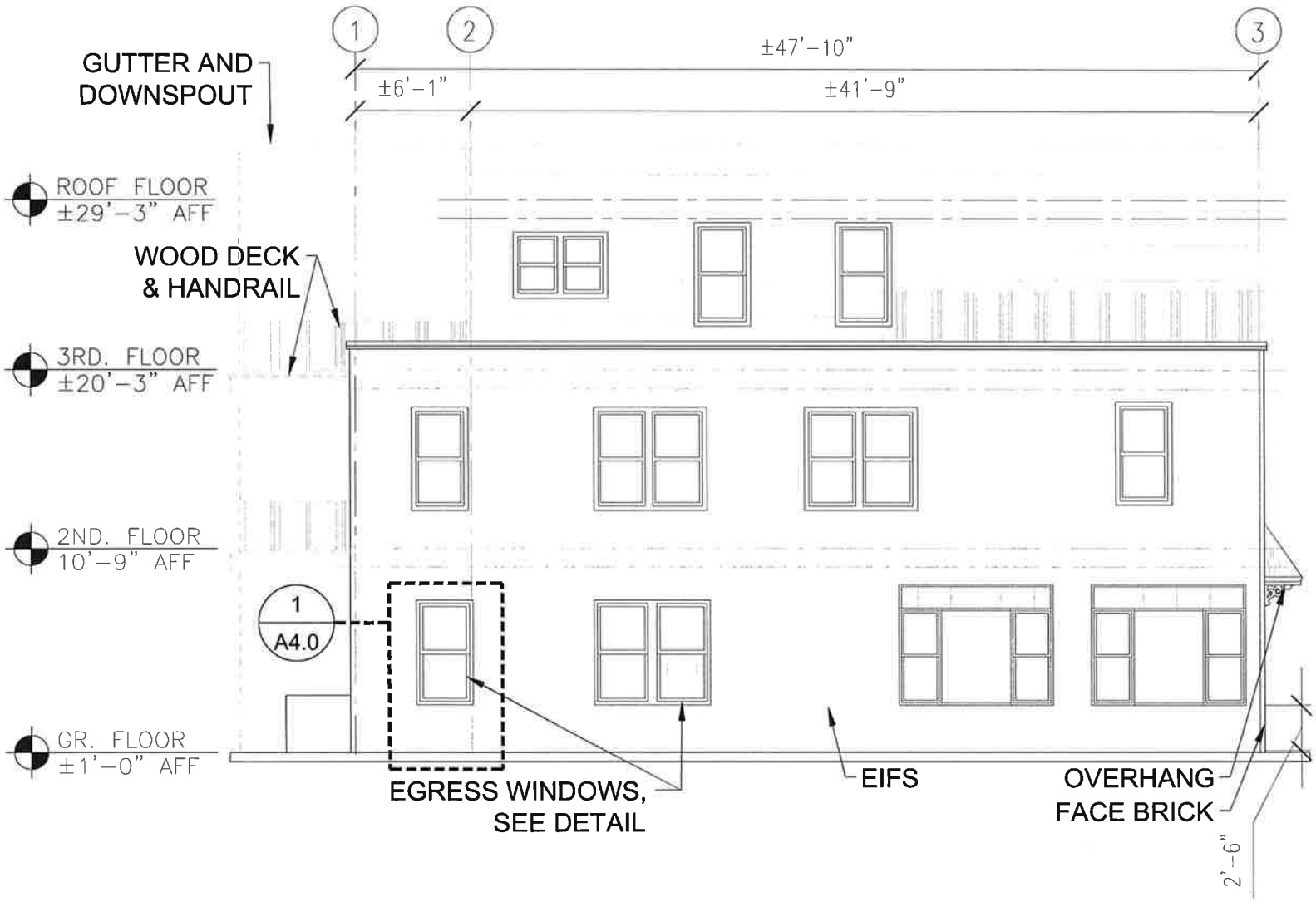

1 EAST ELEVATION
A3.0b SCALE: 1/4"=1'-0"

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HARTSDALE, NY 10530

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PROJECT
398 ASHFORD
RESIDENTIAL BUILDING
DOBBS FERRY, NY 10522

ISSUED FOR

NO.	DESCRIPTION	DATE
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3	ISSUE FOR BOARD OF TRUSTEES	06/30/2021
2	ADDENDUM1	01/21/2021
1	ISSUE FOR PERMIT	03/19/2020

SHEET TITLE
EXTERIOR
ELEVATION

SHEET NO.
A3.0b

C+A JOB NO. 5421-01

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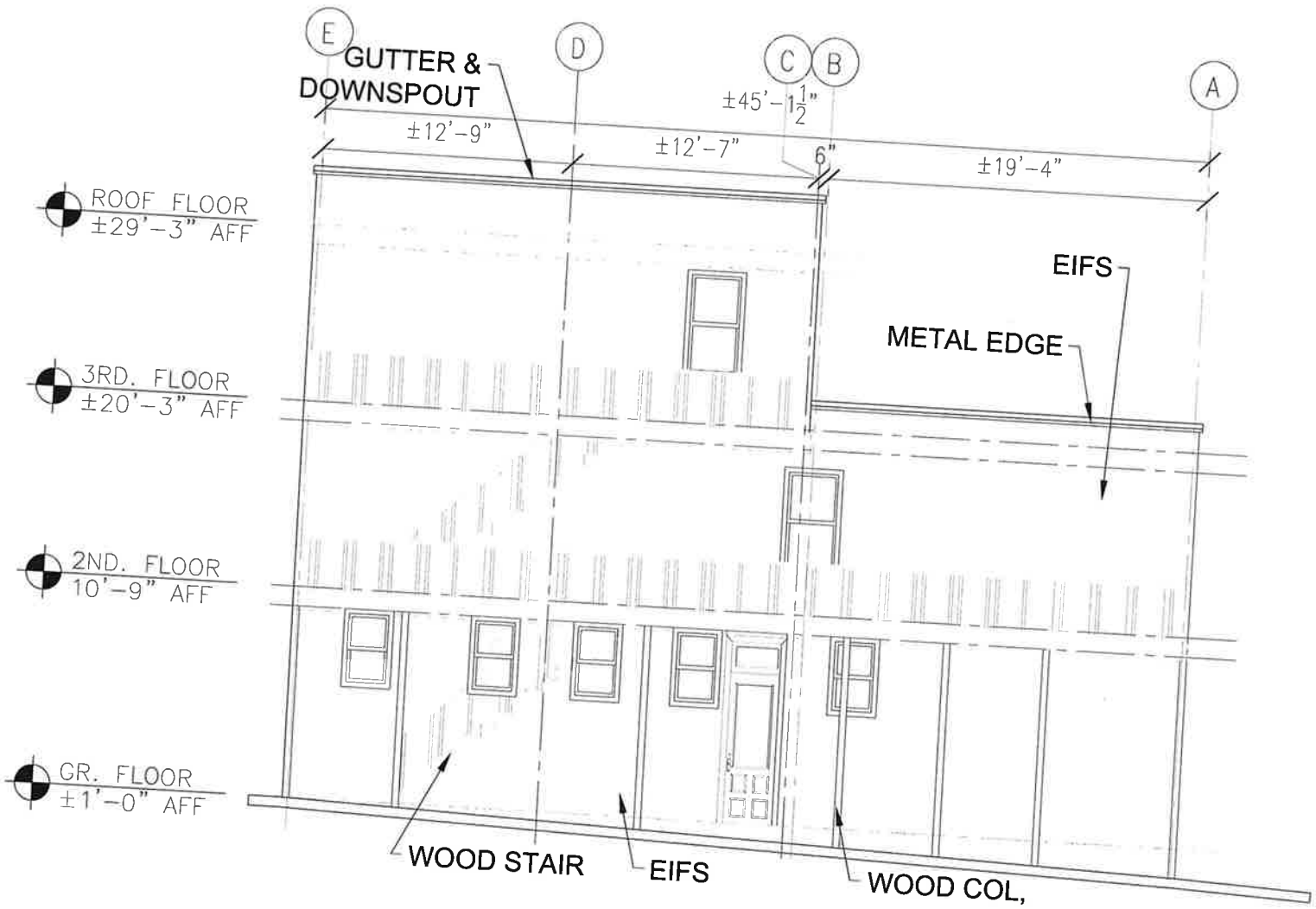

1 SOUTH ELEVATION
A3.0c SCALE: 1/4"=1'-0"

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HARTSDALE, NY 10530

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ASHFORD DOBBS LLC
56 Main Street
Hastings on Hudson, NY 10705

PROJECT
398 ASHFORD
RESIDENTIAL BUILDING
DOBBS FERRY, NY 10522

ISSUED FOR

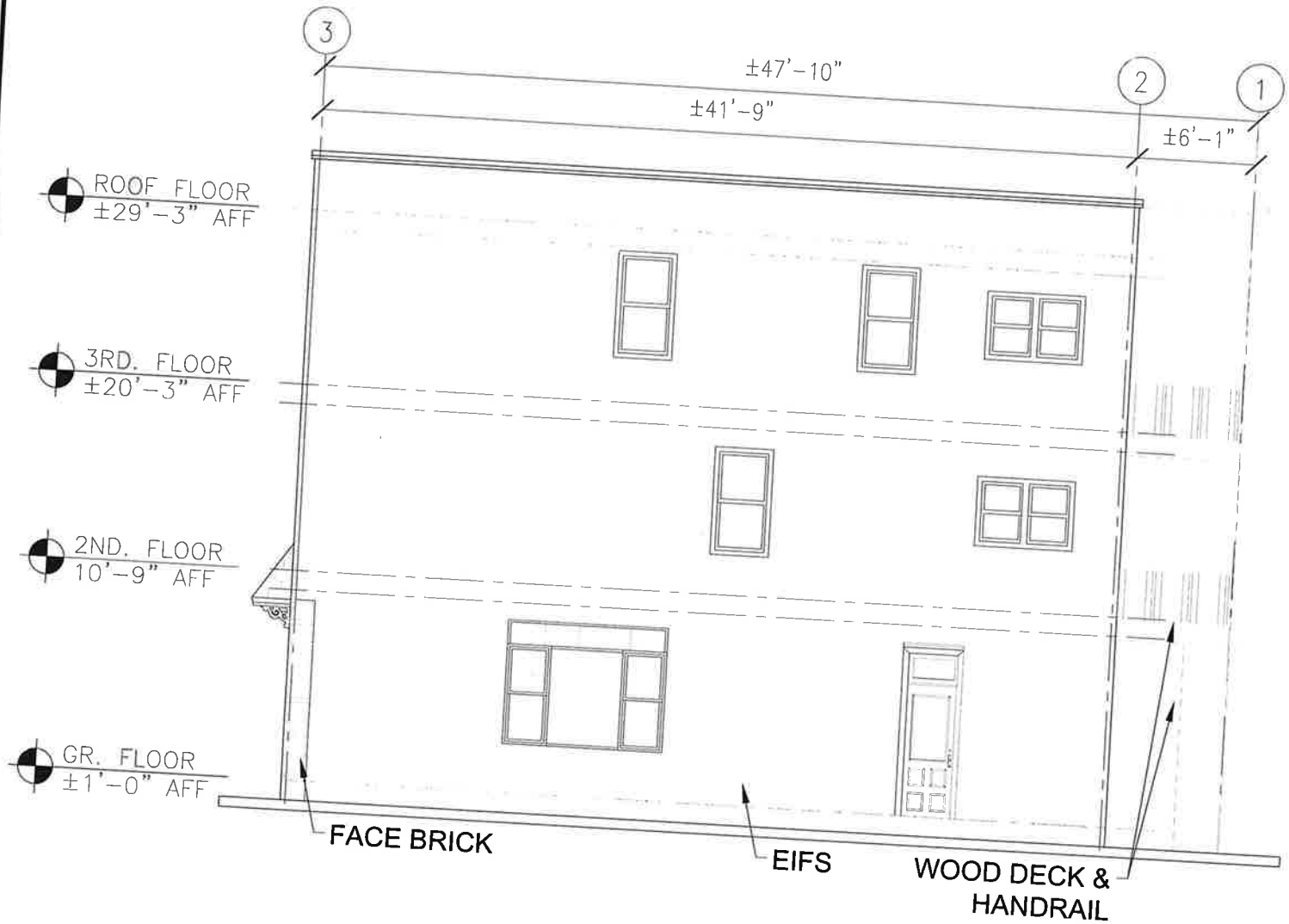
NO.	DESCRIPTION	DATE
5	ISSUE FOR BOARD OF TRUSTEES	07/30/2021
4	ISSUE FOR BOARD OF TRUSTEES	07/23/2021
3	ISSUE FOR BOARD OF TRUSTEES	06/30/2021
2	ADDENDUM1	01/21/2021
1	ISSUE FOR PERMIT	03/19/2020

SHEET TITLE
EXTERIOR ELEVATION

SHEET NO.
A3.0c

C+A JOB NO. 5421-01

K:\5421-01 Ashford Building\03-Construction Documents\SHEETS\A3.0_c_1_4 scale.dwg 1/20/2021 11:24:48 AM



1 WEST ELEVATION
A3.0d SCALE: 1/4"=1'-0"

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NEW YORK STATE LICENSE # 049822
GABRIEL E. SENOR, P.C.
90 NORTH CENTRAL AVENUE,
HARTSDALE, NY 10530

CLIENT
ASHFORD DOBBS LLC
56 Main Street
Hastings on Hudson, NY 10705

PROJECT
398 ASHFORD
RESIDENTIAL BUILDING
DOBBS FERRY, NY 10522

ISSUED FOR

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SHEET TITLE
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ELEVATION

SHEET NO.
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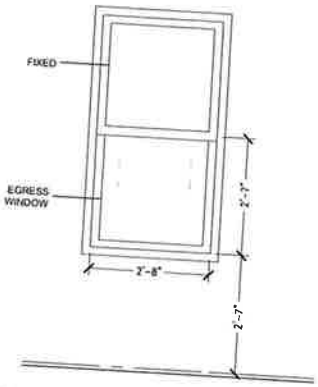
PER SECTION R310 OF THE 2016 INTERNATIONAL RESIDENTIAL CODE

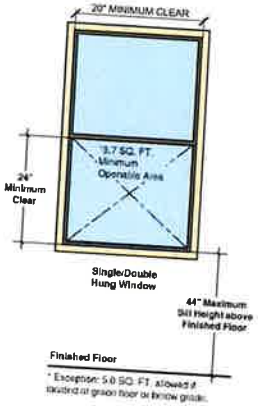
1. MINIMUM 5.7 SQUARE FEET OF NET CLEAR OPENING AREA.
   EXCEPTION: 5.0 SQUARE FEET ALLOWED IF LOCATED AT GRADE FLOOR OR BELOW GRADE.
2. MINIMUM 24 INCHES OF NET CLEAR HEIGHT OPENING.
3. MINIMUM 20 INCHES OF NET CLEAR WIDTH OPENING.
4. MAXIMUM 44 INCHES TO WINDOW SILL MEASURED FROM FINISHED FLOOR.



1 A4.0 EGRESS WINDOW DETAIL
SCALE: 1/2"=1'-0"

SCALE 1/8" = 1'-0"

Single/Double Hung Egress Window



2 A4.0 EGRESS WINDOW CODE
SCALE: 1/8"=1'-0"

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SHEET TITLE
EGRESS
WINDOW DETAIL

SHEET NO.
A4.0

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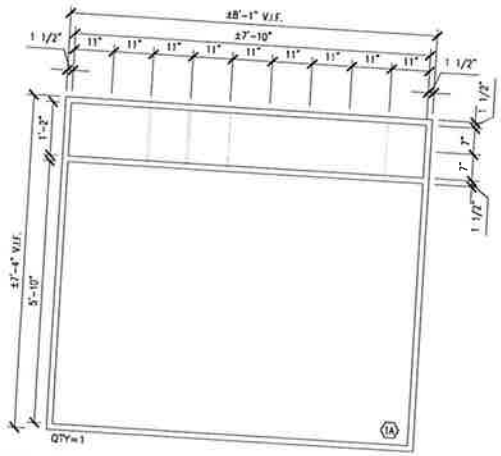
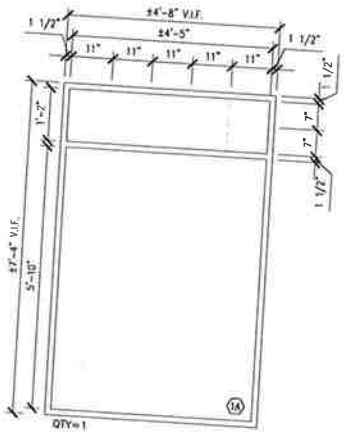
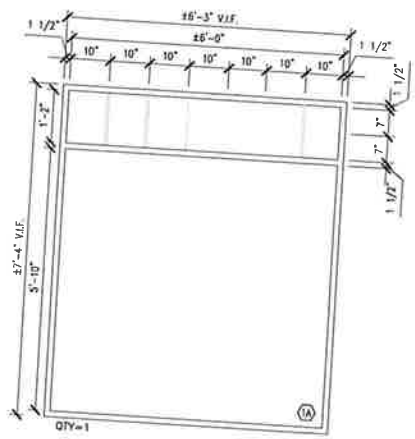
K:\5421-01 Ashord Building\03-Construction Documents\SHEETS\A4.0.dwg 1/20/2021 11:24:48 AM



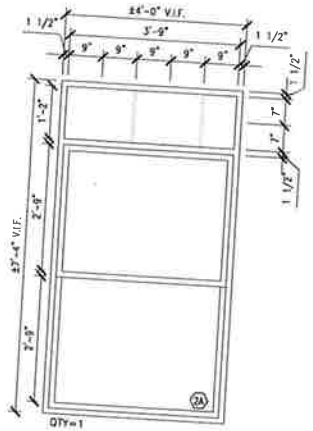
1 A4.1 WINDOW TYPE 1A
UNIT#1 (LIVING RM)
SCALE: 1/2" = 1'-0"



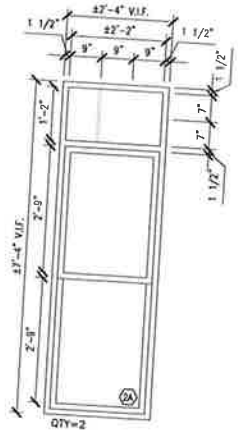
2 A4.1 WINDOW TYPE 1A
UNIT#2 (LIVING RM)
SCALE: 1/2" = 1'-0"



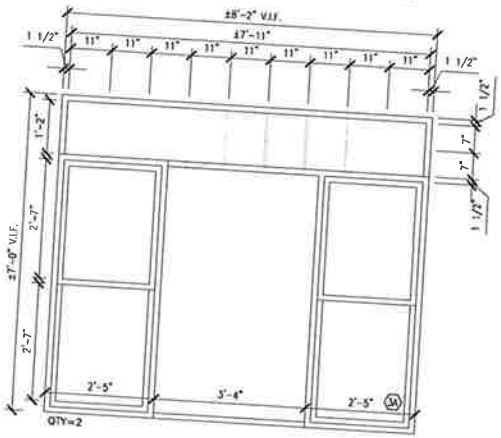
3 A4.1 WINDOW TYPE 1A
UNIT#3 (LIVING RM)
SCALE: 1/2" = 1'-0"



4 A4.1 WINDOW TYPE 2A
UNIT#1 (LIVING RM)
SCALE: 1/2" = 1'-0"



5 A4.1 WINDOW TYPE 2A
UNIT#2 &3 (LIVING RM)
SCALE: 1/2" = 1'-0"



6 A4.1 WINDOW TYPE 3A
UNIT#1 &3 (LIVING RM)
SCALE: 1/2" = 1'-0"

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PROJECT
398 ASHFORD
RESIDENTIAL BUILDING
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ISSUED FOR

SHEET TITLE
WINDOWS
ELEVATIONS

SHEET NO.
A4.1

C+A JOB NO. 5421-01

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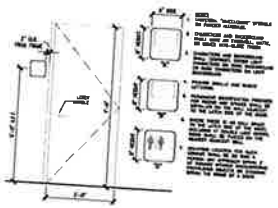
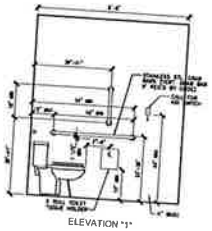
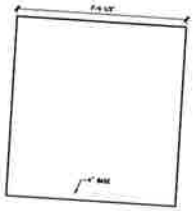




ELEVATION "1"



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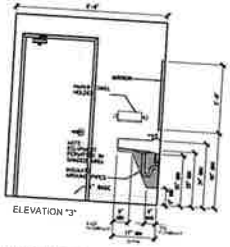
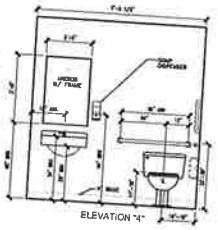
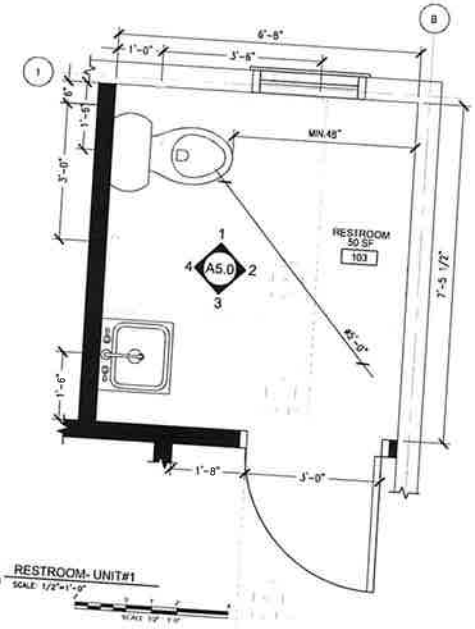


ELEVATION "3"



ELEVATION "4"

2 A5.0 INTERIOR ELEVATIONS
SCALE: 1/4"=1'-0"



1 A5.0 RESTROOM- UNIT#1
SCALE: 1/2"=1'-0"

DOOR SCHEDULE

DOOR NUMBER	NOMINAL DOOR SIZE (EACH)	MATERIAL		FINISH		LABEL	DOOR TYPE	HARDWARE SET	REMARKS
		DOOR	FRAME	DOOR	FRAME				
101A	3'-0"x7'-0"x1 3/4"	EXISTING	EXISTING	EXISTING	EXISTING			EXISTING	EXISTING
102A	3'-0"x7'-0"x1 3/4"	TBD	TBD	TBD		-	A	TBD	
103A	3'-0"x7'-0"x1 3/4"	TBD	TBD	TBD		-	A	TBD	
104A	3'-0"x7'-0"x1 3/4"	TBD	TBD	TBD		-	A	TBD	
105A	3'-0"x7'-0"x1 3/4"	EXISTING	EXISTING	EXISTING	EXISTING	-	A	EXISTING	EXISTING
106A	3'-0"x7'-0"x1 3/4"	TBD	TBD	TBD		-	A	TBD	
107A	3'-0"x7'-0"x1 3/4"	TBD	TBD	TBD		-	A	TBD	
108A	3'-0"x7'-0"x1 3/4"	EXISTING	EXISTING	EXISTING	EXISTING	-	A	EXISTING	EXISTING
109A	3'-0"x7'-0"x1 3/4"	TBD	TBD	TBD		-	A	TBD	
110A	3'-0"x7'-0"x1 3/4"	TBD	TBD	TBD		-	A	TBD	

DOOR TYPE: A – WD

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SHEET TITLE
RESTROOM LAYOUT,
INTERIOR ELEVATIONS
& DOOR SCHEUDLE

SHEET NO.
A5.0

C+A JOB NO. 5421-01

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LIST OF ABBREVIATIONS

ABV	ABOVE	JC	JANITOR CLOSET
AFF	ABOVE FINISHED FLOOR	JT	JOINT
ACC	ACCESS	JB	JUNCTION BOX
AD	ACCESS DOOR	KO	KNOCK OUT
AP	ACCESS PANEL	LAM	LAMINATE
ACT	ACOUSTICAL TILE	LAV	LAVATORY
ADD	ADDENDUM	LH	LEFT HAND
ADJ	ADJACENT or ADJUSTABLE	LKR	LOCKER
AGGR	AGGREGATE	LP	LOW POINT
A/C	AIR CONDITIONER	MH	MANHOLE
ALUM/AL	ALUMINUM	MFR	MANUFACTURER
ACI	AMERICAN CONCRETE INSTITUTE	MAS	MASONRY
ADA	AMERICANS WITH DISABILITIES ACT	MO	MASONRY OPENING
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	ME	MATCH EXISTING
AWG	AMERICAN WIRE GAGE	MAT	MATERIAL
APPROX	APPROXIMATE	MAX	MAXIMUM
BB	BASEBOARD	MECH	MECHANICAL
BP	BASE PLATE	MC	MEDICINE CABINET
BM	BEAM	MBR	MEMBER
BRG	BEARING	MTL	METAL
B.M.	BENCH MARK	MIN	MINIMUM
BTWN	BETWEEN	MR	MIRROR
BLK	BLOCK	MISC	MISCELLANEOUS
BLKG	BLOCKING	MC	MISCELLANEOUS CHANNEL
BD	BOARD	MTD	MOUNTED
B.O.	BOTTOM OF	MOV	MOVABLE
CAB	CABINET	MUL	MULLION
CI	CAST IRON	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
CH	CEILING HEIGHT	NRC	NOISE REDUCTION COEFFICIENT
CB	CATCH BASIN	NOM	NOMINAL
CLG	CEILING	NIC	NOT IN CONTRACT
CLM	CEMENT	NTS	NOT TO SCALE
CL	CENTER LINE	OC	ON CENTER
CT	CERAMIC TILE	OPNG	OPENING
CO	CLEAN OUT	OPP	OPPOSITE
CLR	CLEARANCE	OPH	OPPOSITE HAND
CW	COLD WATER	OD	OUTSIDE DIAMETER
COL	COLUMN	OZ	OUNCE
CONC	CONCRETE	OA	OVERALL
CMU	CONCRETE MASONRY UNIT	OH	OVERHEAD
CONT	CONTINUOUS or CONTINUE	PNTD	PAINTED
CONV	CONVECTOR	PR	PAIR
CG	CORNER GUARD	PNL	PANEL
DP	DAMPPROOFING	PTN	PARTITION
DEG	DEGREE	PLAS	PLASTER
DL	DEAD LOAD	PLAM	PLASTIC LAMINATE
DIAG	DIAGONAL	PL	PLATE
DIF	DIFFUSER	PLWD	PLYWOOD
DIM	DIMENSION	PVC	POLYVINYL CHLORIDE or CONDUIT
DSP	DISPENSER	PSF	POUNDS PER SQUARE FOOT
DBL	DOUBLE	PSI	POUNDS PER SQUARE INCH
DN	DOWN	QUANT/QTY	QUANTITY
DWG	DRAWING	QT	QUARRY TILE
DF	DRINKING FOUNTAIN	RAD	RADIUS or RADIATOR
EA	EACH	REF	REFERENCE
ELEC	ELECTRICAL or ELECTRIC	REINF	REINFORCEMENT
EP	ELECTRIC PANEL	REQD	REQUIRED
EWC	ELECTRIC WATER COOLER	RET	RETURN
ELEV	ELEVATION	RD	ROOF DRAIN
ELEV	ELEVATOR	RO	ROUGH OPENING
EMER	EMERGENCY	SAD	SADDLE
EQ	EQUAL	SAN	SANITARY
EQUIP	EQUIPMENT	SCHED	SCHEDULE
EXH	EXHAUST	SECT	SECTION
EXIST	EXISTING	SIM	SIMILAR
FAI	FRESH AIR INTAKE	STC	SOUND TRANSMISSION COEFFICIENT
FO	FACE OF	SPKR	SPEAKER
FOB	FACE OF BRICK	SPEC	SPECIFICATION
FOC	FACE OF CONCRETE	SF	SQUARE FOOT
FOM	FACE OF MASONRY	SST/SS	STAINLESS STEEL
FOS	FACE OF STUDS	SD	STORM DRAIN
FIN	FINISH	SFT	STRUCTURAL FACED TILE
FA	FIRE ALARM	SW	SWITCH
FAA	FIRE ALARM ANNUNCIATOR	TEL	TELEPHONE
FHVC	FIRE HOSE VALVE CABINET	TV	TELEVISION
FD	FLOOR DRAIN or FIRE DAMPER	TEMP	TEMPERED
FE	FIRE EXTINGUISHER	TERR	TERRAZZO
FP	FIREPROOF	THK	THICK
FLUOR	FLUORESCENT	TO	TOP OF
FT	FOOT or FEET	TYP	TYPICAL
FTG	FOOTING	UL	UNDERWRITERS LABORATORY
FDN	FOUNDATION	UC	UNDERCUT
FAI	FRESH AIR INTAKE	UNEX	UNEXCAVATED
FLR	FLOOR	UCC	UNIFORM CONSTRUCTION CODE
GA	GAUGE	UON	UNLESS OTHERWISE NOTED
GALV	GALVANIZED	VIF	VERIFY IN FIELD
GEN	GENERAL	VCT	VINYL COMPOSITION TILE
GL	GLASS or GLAZING	VWC	VINYL WALL COVERING
GB	GRAB BAR	VB	VINYL BASE
GND	GROUND	VOL	VOLUME
GYP	GYPSUM	WC	WATER CLOSET
GWB/GYP.BD	GYPSUM WALL BOARD	WD	WOOD
HC	HANDICAPPED	WH	WATER HEATER
HR	HAND RAIL	WP	WATER PROOF
HDWR	HARDWARE	WWF	WELDED WIRE MESH
HWD	HARDWOOD	WT	WEIGHT
HVAC	HEATING VENTILATING AIR CONDITIONING	WO	WINDOW OPENING
HT	HEIGHT	W/	WITH
HM	HOLLOW METAL	W/O	WITHOUT
HB	HOSE BIBB	WGL	WIRE GLASS
H.P.	HIGH POINT		
INCAND	INCANDESCENT		
INCL	INCLUDE(D) (ING)		
ID	INTERIOR DIAMETER		
INSUL	INSULATE(D) (ING) (TION)		
INV	INVERT		
INV EL	INVERT ELEVATION		

GENERAL NOTES

[illegible]

CONSTRUCTION NOTES

[illegible] TO PRESERVE [illegible] AND [illegible] MOVEMENT [illegible] SETTLEMENT [illegible] COLLAPSE OF CONSTRUCTION AND FINISHES TO REMAIN, AND TO PREVENT UNEXPECTED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.

DO NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS. AT CONCEALED SPACES, SUCH AS DUCT AND PIPE INTERIORS, VERIFY CONDITION AND CONTENTS OF HIDDEN SPACE BEFORE STARTING FLAME CUTTING OPERATIONS. MAINTAIN FIRE WATCH AND PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME CUTTING OPERATIONS.

LOCATE EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.

PROTECT CONSTRUCTION INDICATED TO REMAIN AGAINST DAMAGE DURING DEMOLITION.

VILLAGE OF DOBBS FERRY NOTES:

1. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

2. AS BUILT DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.

3. THE INFILTRATION SYSTEM ACCESS PORTS SHALL BE SHOWN ON THE AS BUILT DRAWINGS.

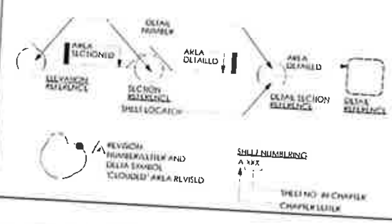
4. THE RESTORATION OF THE WORK PERFORMED WITHIN THE VILLAGE RIGHT OF WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE VILLAGE ENGINEER AND DEPARTMENT OF PUBLIC WORKS.

5. BEFORE THE SITE PLANS ARE SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTY WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.

SCOPE OF WORK:

1. REMOVE PORTIONS OF EXISTING CURB AND SIDEWALK AT ASHFORD AVE.
2. PROVIDE NEW CURB AT ASHFORD AVE.
3. PROVIDE (2) NEW PARKING SPACES ALONG ASHFORD AVE.
4. PROVIDE ASPHALT PAVEMENT PARKING AREA
5. SITE STORMWATER MANAGEMENT

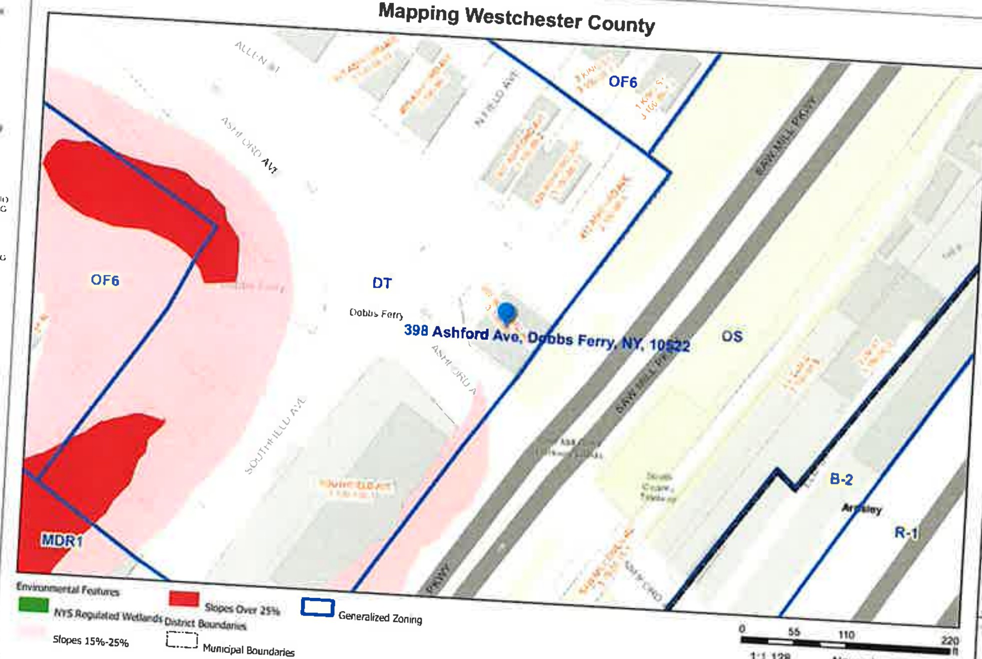
SYMBOL KEY



DRAWING INDEX (TOTAL 6 PAGES)

DRAWING NUMBER	DRAWING NAME
C-001.00	GENERAL NOTES
C-100.00	SITE PLAN & ZONING ANALYSIS
C-101.00	ALTERNATE SITE PLAN
C-200.00	STORMWATER POLLUTION PREVENTION PLAN
C-201.00	STORMWATER CALCULATIONS
C-300.00	SITE DETAILS

Mapping Westchester County



CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD (PSF)	WIND DESIGN: SPEED (MPH)	WIND DESIGN: [illegible]	WIND DESIGN: SPECIAL WIND REGION	WIND DESIGN: WIND BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM: WEATHERING	SUBJECT TO DAMAGE FROM: FROST LINE DEPTH	SUBJECT TO DAMAGE FROM: TERMITE	WINTER DESIGN TEMP	[illegible]	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
30 PSF	120	NO	YES	30 PSF	B	SEVERE	3'-6"	MODERATE TO HEAVY	15 DEG F	YES	SEE BELOW	1500	52 DEG F

FLOOD HAZARDS:
(a) FIRST CODE DATE OF ADOPTION: JULY 9 1980
(b) DATE of FLOOD INSURANCE STUDY: JAN. 21, 1998
(c) MAP PANEL NUMBERS 36119C0[illegible] THROUGH 36119C0[illegible] EFFECTIVE SEPT. [illegible] 2007

BADALY

BADALY ENGINEERING PLLC

EXTERIOR ALTERATIONS:

398 ASHFORD AVE
DOBBS FERRY, NY 10522

GENERAL NOTES & DETAILS

C-001.00

1 OF 6

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AUG 06 2021
by the Village Clerk
Village of Dobbs Ferry, NY

MEMORANDUM

TO: Mayor Rossillo and Members of the Village Board of Trustees

FROM: Valerie Monastra, AICP

SUBJECT: 398 Ashford Avenue

DATE: August 5, 2021

CC: Richard Leins, Esq. Village Administrator
Lori Lee Dickson Esq. Village Attorney
Ed Manley, Building Inspector

Ashford Dobbs, LLC. (the "Applicant" and "Owner") is seeking Site Plan approval to renovate an existing multi-family residential building and upgrade and expand the existing parking area. The property is located at 398 Ashford Avenue, Section Block and Lot 3.100-89-1 ("Project Site"). The property is in the DT, Downtown Transition zoning district.

At the May 6, 2021, Planning Board meeting, the Board recommended that this application be referred back to the Village Board of Trustees for final Site Plan approval. The Site Plan is ready for the Board to deliberate, and a draft resolution calling for a public hearing is on for the Board's consideration.

<u>General and Procedural Comments</u>

1. County Board Referrals. This project will require a notification to the Westchester County Planning Board per Section 239 L, M, and N of the New York State General Municipal Law and Section 277.61 of the County Administrative Code because the project is less than 5,000 square feet and within 500 feet of the Saw Mill River Parkway.
2. SEQR. The Applicant has not officially submitted a Short Environmental Assessment Form to the Village, and one is required to commence the SEQR process.
3. Site Plan Approval. This application requires Site Plan approval by the Village Board of Trustees per Section 300-52 and will require a public hearing.
4. Zoning Board of Appeals. As currently proposed, this application will need three variances from the Zoning Board of Appeals or waivers by the Village Board of Trustees per Section 300-52(E) of the Zoning chapter for the maximum impervious coverage, one (1) parking space, and the minimum residential dwelling unit size. The units proposed on the ground floor do not meet the 600 square foot minimum.

5. Architectural and Historic Review Board. This application will require Architectural and Historic Review Board Approval and falls within the Downtown Design Guidelines.

Planning Comments

1. Parking.
    a. Parking calculations: Section 300-48 B(2)(b) only requires new off-street parking spaces when new dwelling units are added to an existing parcel. The Building Inspector has determined that the Applicant needs to provide four (4) additional parking spaces for the three (3) additional dwelling units being proposed. The Applicant can provide three (3) additional on-site spaces, for a total of six (6) spaces.

    b. The Applicant proposes to install tandem spots. How will those spots be distributed to the eight (8) units? How will the cars maneuver in and out of the tandem spaces? The sight distance for pulling out of the proposed parking lot so close to an off-ramp is a concern. The Board may wish for sight distances to be calculated and shown on the Site Plan.

    c. While the Applicant was looking to use the on-street parking spaces to reduce their required parking per Section 300-48(H)(1), the Planning Board recommended that the Village Board of Trustees direct the Applicant to provide a payment in lieu of parking per Section 300-48(H)(4) as the on-street parking spaces are too close to the on-ramp of the Saw Mill Parkway.

Engineering Comments

Hahn Engineering provided updated comments dated May 10, 2021. It is recommended that the Applicant also address the engineer's comments as part of their submission.

Submission Materials

The following materials were submitted by the Applicant and examined by our office for the preparation of this review:

- Letter from Applicant dated June 29, 2021
- Site Plans by Badaly Engineering PLLC last revised July 30, 2021
- Architectural Plans by Chadha+ Associates dated July 30, 2021

398 ASHFORD SITE PLAN APPLICATION – DIRECT APPLICANT TO PROVIDE EAF FOR SEQRA REVIEW & REFERRAL TO COUNTY PLANNING BOARD & SET HEARING DATE

WHEREAS, on June 8, 2021, the Board of Trustees of the Village of Dobbs Ferry discussed a site plan which had been returned by the Dobbs Ferry Planning Board for a project in the DT Zone at 398 Ashford Avenue consisting of renovation of an existing mixed use building to convert it to multi-family use with a total of eight (8) residential units ("Project"); and

WHEREAS, following the discussion and a review of memoranda provided by the Village Planner and Engineer, the Board determined the application was incomplete for purposes of scheduling a public hearing on the site plan and requested and directed Ashford Dobbs, LLC ("Applicant") to coordinate with the consultants to provide missing information, including an Environmental Assessment Form, and revise the proposed site plans; and

WHEREAS, prior to taking eventual action on the Project, the Board must comply with the New York State Environmental Quality Review Act and corresponding regulations thereto ("SEQRA"), NYS General Municipal Law and the Dobbs Ferry Code; and

WHEREAS, on August 10, the Board reviewed and discussed Applicant's supplemental submission in support of the Project.

NOW, THEREFORE, BE IT RESOLVED, that, the Board of Trustees of the Village of Dobbs Ferry hereby determines the application to be incomplete and directs the Applicant to submit a completed Environmental Assessment Form (EAF) in support of the Project, without which the Board is unable to commence mandatory SEQRA review, including declaring intent to serve as lead agency or determining environmental significance; and

BE IT FURTHER RESOLVED, that, the Board of Trustees of the Village of Dobbs Ferry hereby directs, following receipt of the EAF from Applicant, that the Project be referred to the Westchester County Planning Board based on the proximity of the subject property to the Saw Mill Parkway in accordance with General Municipal Law §239, which referral and receipt of comments or the expiration of 30 days is mandatory pre-requisite to local action on the proposed site plan; and

BE IT FURTHER RESOLVED, that, the Board of Trustees of the Village of Dobbs Ferry hereby calls for a public hearing to be scheduled on Tuesday, September 28, 2021 at 6:30 p.m., or as soon thereafter as the matter may be heard, to receive public comment and consider the request for site plan approval for the Project at 398 Ashford Avenue.