



VILLAGE OF DOBBS FERRY BOARD OF TRUSTEES AGENDA

MEETING DATE: JUNE 8, 2021
AGENDA ITEM SECTION: PUBLIC HEARING
AGENDA ITEM NO. : 3
AGENDA ITEM: PUBLIC HEARING ON THE PROPOSED ZONING CODE AND MAP AMENDMENTS RECOMMENDED BY THE PLANNING BOARD
ITEM BACKUP DOCUMENTATION: <ul style="list-style-type: none">1. LEGAL NOTICE OF PUBLIC HEARING2. INTRODUCTORY LOCAL LAW 2-20213. REFERRAL TO WESTCHESTER COUNTY PLANNING BOARD



VILLAGE OF DOBBS FERRY

112 Main Street
Dobbs Ferry, New York 10522
TEL: (914) 231-8500 • FAX: (914) 693-3470

PLEASE TAKE NOTICE that the Dobbs Ferry Village Board of Trustees will conduct a public hearing on Tues., June 8, 2021 at 6:30 p.m., or as soon thereafter as the matter may be heard, to receive public comment on proposed Zoning Code and Map amendments recommended by the Planning Board to achieve 3 key objectives: (i) reduce pre-existing non-conformities and better align zoning with existing development; (ii) improve design outcomes for development on Palisade Street; and (iii) clarify area and bulk dimensional tables. The proposed map amendments would shift the MDR-1 district boundary north to incorporate properties both sides of Maple Street and re-zoning the parcel at the northwest corner of Rochambeau Avenue and Broadway from MDR-1 to B. The proposed text amendment will adopt Character Guidelines for Palisades Street.

It is anticipated that the hearing will be conducted virtually and streamed live, because this method (i) meets the Village goal of protecting public health and safety; (ii) complies with NYS legal requirements, and (iii) conforms with the Governor's Executive Orders related to the ongoing COVID-19 Health Emergency. If in-person participation at Village Hall, 112 Main Street will meet the above criteria at the scheduled time of the hearing, then the public will be notified accordingly.

Interested parties may follow any of the following instructions to be heard:

For virtual participation, the web-based videoconferencing service (Zoom) can be accessed by typing "join.zoom.us" on your web browser and entering the Webinar ID 861 5028 5812, Passcode: 289013, or by following link:

<https://zoom.us/j/205957953?pwd=aU5YNHJVYkxub2lWN0RzQUZoVzROUT09>

For participation by Telephone: dial 1 929 205 6099 during the hearing; or to provide written comments, please forward in advance to the Village Clerk, 112 Main Street or by e-mail LDreaper@dobbsferry.com.

Further details on the proposed amendments and instructions for participation may be found online at the Village of Dobbs Ferry website, www.dobbsferry.com

BY ORDER OF THE BOARD OF TRUSTEES

Dated: May 24, 2021

Elizabeth Dreaper
Village Clerk

INTRODUCTORY LOCAL LAW NO. 2-2021

“Amendments to the Village of Dobbs Ferry Zoning Code to Adopt and Incorporate ‘Character Guidelines on Palisade Street’, Clarify Area and Bulk Tables in Appendix B and Revise the Zoning Map to relocate the MDR-1 Boundary to Include both Sides of Maple Street Between South Broadway and Park Road and Re-Zone Single Parcel at Northwest Corner of Rochambeau Avenue and Broadway from MDR-1 to B”

A LOCAL LAW to: (i) adopt Character Guidelines on Palisade Street” and amend the text of Chapter 300 “Zoning and Land Use”, at Section 300-35 to reflect the adoption and append guidelines as Appendix H; (ii) amend the Area and Bulk Tables B-2, B-3, B-6 & B-7 in Appendix B; and (iii) amend the official zoning map to relocate the MDR-1 district boundary to include both sides of Maple Street between South Broadway and Park Road and move parcel located on the northwest corner of Rochambeau Avenue and Broadway from MDR-1 to B Zone.

BE IT ENACTED by the Board of Trustees of the Village of Dobbs Ferry, as follows:

Section 1. Legislative Intent. In furtherance of its overarching goal of promoting the health, safety and welfare of the community, and in support of maintaining property values and encouraging the most appropriate use of land, the Village Board of Trustees has considered zoning amendments recommended by the Planning Board and determined that they are balanced and appropriate to address identified issues, in keeping with the comprehensive vision plan and will achieve three key objectives: (i) reduce pre-existing non-conformities and better align zoning requirements with existing development patterns and practice; (ii) provide guidance to applicants and land use boards to improve design outcomes for future development on Palisade Street between Chestnut and Cedar Streets, an area having uniqueness of character based on existing scale and context; and (iii) clarify area and bulk dimensional tables in Appendix B which in application have proved problematic.

Section 2. “Character Guidelines for Palisades Street” are hereby adopted, shall be labeled with the date of adoption and attached as Appendix H.

Section 3. Section 300-35 (B) of Chapter 300 of the Code of Dobbs Ferry is hereby amended as follows, with new matter underlined and deleted matter ~~struck~~ and in [brackets]:

B. [~~Residential~~] Conformance with Design and Character guidelines.

(1) Conformance with the Residential Design Guidelines, Appendix G, as adopted by the Board of Trustees, is encouraged where applicable and shall be considered as part of the site plan review criteria, as well as the basis for the Architectural and Historic Review Board's evaluation.

(2) Conformance with the Character Guidelines for Palisades Street, Appendix H, as adopted by the Board of Trustees, is encouraged where applicable and shall be considered as part of the site plan review criteria, as well as the basis for the Architectural and Historic Review Board's evaluation.

Section 4. Appendix B to Chapter 300 of the Code of the Village of Dobbs Ferry, Tables B-2, B-3, B-6 & B-7 are hereby amended as follows:

Table B-2: MDR, B and MF Districts Dimensional Standards

Zone	MDR-1	MDR-2	MDR-H	B	MF-1	MF-2	MF-3	MF-4
Minimum net lot area (square feet)	5,000	5,000	10,000	5,000	20,000	20,000	20,000	20,000
Minimum lot area per dwelling unit (square feet)	2,500	800	2,500	800	6,000	3,500	2,500	1,750
Minimum lot width (feet)	50	50	50	50	100	100	100	100
Minimum lot depth (feet)	100	100	100	100	100	100	100	200
Maximum lot coverage by buildings	27%	[27%] 40%	30%	30%	30%	30%	40%	40%
Maximum lot coverage by impervious surfaces	54%	[54%] 60%	60%	60%	60%	60%	60%	60%
Minimum front yard setback (feet)	20	20	20	prevailing	25	25	50	10
Minimum rear yard setback (feet)	25	25	25	25	30	30	30	30
Minimum side yard setback (each) (feet)	10	10	10	10	25	25	25	10
Minimum side yard setback (both) (feet)	20	20	20	20	50	50	50	20
<u>Maximum Stories</u>	<u>2.5</u>	<u>3</u>	<u>3</u>	<u>3</u>				
<u>Maximum height</u>	<u>GP-MP</u> <u>30</u>	<u>C-TF/MP</u> <u>37</u>						

Note:

The net lot area is determined by deducting the adjustments stipulated in § 300-34A(2) from gross lot area.

Abbreviations:

*GP = Grade plane

*R = Ridge
 *MP = Midpoint of sloped roof
 *TF = Top of flat roof
 *C = Curb

Table B-3: Residential Lot Dimensions and Coverage (Sliding Scales)¹

Lot area	Less Than 7,500 Square Feet	At Least 7,500 Square Feet but Less Than 10,000 Square Feet	At Least 10,000 Square Feet but Less Than 20,000 Square Feet	At Least 20,000 Square Feet but Less Than 40,000 Square Feet	40,000 Square Feet or Greater
Minimum lot width (feet)	Lot area/100	Lot area/100	100	100	150
Minimum lot depth (feet)	100	100	100	125	150
Maximum lot coverage by buildings	{27%} As per B1 & B2	{22%} x .82	{20%} x .75	{18%} x .67	{15%} x .56
Maximum lot coverage by impervious surfaces	{54%} As per B1 & B2	{44%} x .82	{40%} x .75	{40%} x .67	{30%} x .56

Note: ¹ Multiplier to be applied to maximum lot coverage by buildings as per Table B1 or B2

Table B-6: Residential Building Height (Sliding Scales)¹

Roof Pitch (Rise/Run)	0 to 0.25	0.25 to 0.30	Greater than 0.30	Maximum Height to Eave
OF and MDR-1 Districts (feet) <u>GP-R</u>	30	33	35	28
[MDR-2, B,] MF-1 MF-2 and Districts (feet) <u>GP-MP/TF</u>	30	35	40	28
MF-3 and MF-4 Districts (feet)	35	40	42	N/A
<u>MDR-2</u> <u>C-TF/MP</u> (a)	<u>37</u>			
<u>B</u> <u>C-TF/MP</u>				

(a) 3rd Floor must be set back 5 feet.

NOTES: ¹ Reference § 300-35D(8)(a)[1]-[2].
² Multiplier to be applied to maximum lot coverage by buildings as per Table B1 or B2

Table B-7: Residential Context Based Height¹ and Massing Limits²

Requirement	Set Limits	Context Based Limits
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Maximum ridge height	Default [28] <u>30</u>	Maximum 1.25 times the average ridge height of buildings on lots within the context limit area subject property.
Maximum eave height	Default [22] <u>28</u>	Maximum 1.15 times the average eave height of buildings on lots within the context limit area subject property.
Sky exposure plane <u>OF & MDR-1</u>		A plane set at an [a] angle of 45° projected into the lot from a point set 10 feet above a lot line with the base of the 10 feet set at the average grade height between the lot line and the building.

NOTE: ¹ Every roof must comply with all building height requirements.
² Reference § 300-35D(8)

Abbreviations:

*GP = Grade plane

*R = Ridge

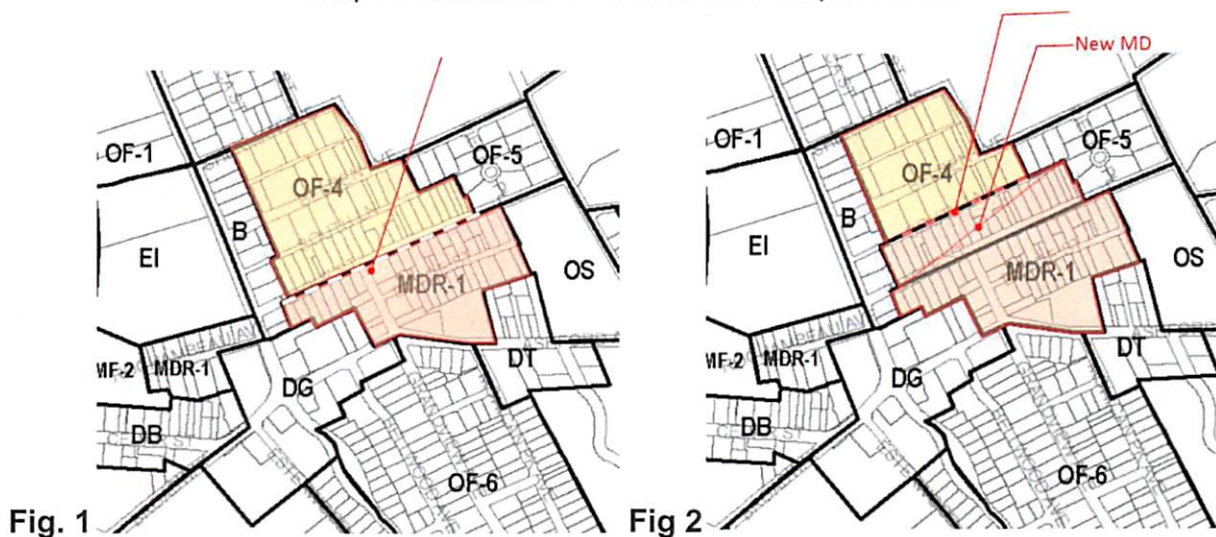
*MP = Midpoint of sloped roof

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Section 5. The Official Map of the Village of Dobbs Ferry is hereby amended by two changes in zoning district boundaries as follows:

Map Amendment 1 – North Side Maple Street



Existing Boundary between MDR-1 and OF-4 in center of Maple Street (fig 1) to be shifted north resulting in properties on both sides of Maple Street having the same MDR-1 Zoning classification (fig 2).

Map Amendment 2 – northwest corner Rochambeau Avenue and Broadway

Fig 3 Existing Boundary

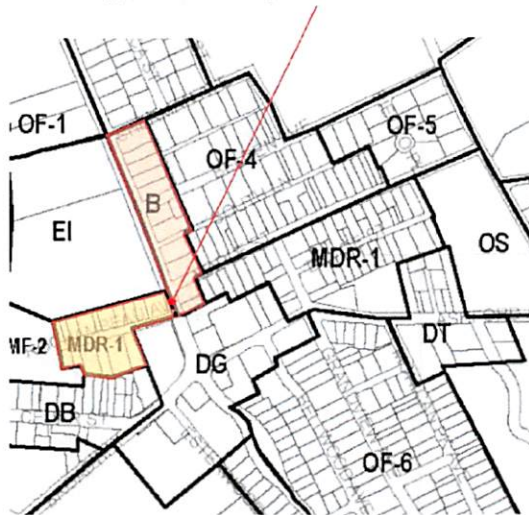
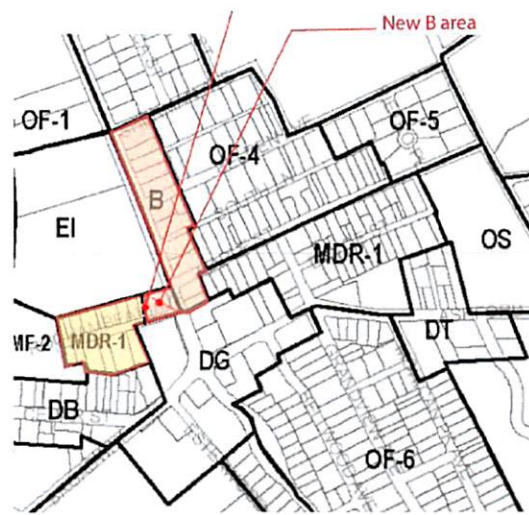


Fig 4 Proposed Boundary (new B area)



Existing Boundary in center of Broadway between MDR-1 and B zones (fig 3) to be shifted to move one large parcel west of Broadway into the B zone (fig 4).

Section 6. Except as otherwise provided herein, all other provisions of Chapter 300 shall remain the same.

Section 5. This Local Law shall take effect immediately upon filing with Secretary of State and shall be published and posted as required by NYS Village Law.

Westchester County Planning Board Planning and Zoning Action Referral Form

Referral Name: INTRODUCTORY LOCAL LAW NO. 2-2021

Westchester County Planning
Board comments due by:

Address: N/A

Municipality: VILLAGE OF DOBBS FERRY

Local Case Number: _____

Zip code of location of the action: 10522

Local Meeting Date: JUNE 8, 2021

Section: _____ Block: _____ Lot: _____

Public Hearing: ☒ Yes ☐ No

Referring Agency:

- ☐ City Council
☒ Town/Village Board
☐ Planning Board/Commission
☐ Zoning Board
☐ Other: _____

General Land Use Classification: RESIDENTIAL

Type of Action

- ☐ New
☐ Expansion
☒ Modification

SEQR Action

- ☒ EAF
☐ Lead Agency
☐ Draft Scope
☐ Draft EIS
☐ Final EIS
☐ Findings
☐ Positive Declaration
☐ Negative Declaration

Referral Description: "AMENDMENTS TO THE VILLAGE OF DOBBS FERRY ZONING CODE TO ADOPT AND INCORPORATE "CHARACTER GUIDELINES ON PALISADE STREET", CLARIFY AREA AND BULK TABLES IN APPENDIX B AND REVISE THE ZONING MAP TO RELOCATE THE MDR-1 BOUNDARY TO INCLUDE BOTH SIDES OF MAPLE STREET BETWEEN SOUTH BROADWAY AND PARK ROAD AND RE-ZONE SINGLE PARCEL AT NORTHWEST CORNER OF ROCHAMBEAU AVENUE AND BROADWAY FROM MDR-1 TO B"

Referral Trigger (Type of Action)*

Please check appropriate box for actions involving **more than 5,000 square feet of new or renovated floor area OR 10,000 square feet of total land disturbance**. If this action involves less floor area or land disturbance, please use a "notification only" form to reduce paperwork/waste.

- ☐ Special Use Permit or Use Variance
☐ Subdivision Plat (Only when a new street will connect directly into a **state or county** road or a new drainage line will connect directly into a **county** drainage channel)
☒ Zoning Ordinance or Map (Adoption or Amendment)
☐ Moratoriums

- ☐ Comprehensive Plan (Adoption or Amendment)
☐ Official Map (Adoption or Amendment)
☐ Site Plan (please circle the condition)

Affecting property within 500 feet of:

- A municipal boundary;
- The boundary of an existing or proposed **state or county** park or any other **state/county** recreation area;
- The right-of-way of an existing or proposed **state or county** road;
- An existing or proposed **county** drainage channel line;
- The boundary of **state or county**-owned land on which a public building/ institution is located;
- The boundary of a farm located in an agricultural district.

Contact Information

Local Contact Name: ELIZABETH DREAPER, RMC

Department/Agency: VILLAGE CLERK

Phone Number: 914-231-8504

Email Address: ldreaper@dobbsferry.com

Please provide notice at least **10 days** prior to any hearing (**30 days** in advance for site plans) with supporting documentation (including an EAF) and return address to:

Municipal Referrals
Westchester County Department of Planning
148 Martine Avenue, Room 432
White Plains, NY 10601-3311

Note: You may fax this sheet to (914) 995-3780, in order to start the referral process. Please send all supporting documentation within one business day of sending the fax.

* Note: This list is provided as a convenience. Please check General Municipal Law and the Westchester County Code to be certain which actions to refer.

INTRODUCTORY LOCAL LAW NO. 2-2021

"Amendments to the Village of Dobbs Ferry Zoning Code to Adopt and Incorporate "Character Guidelines on Palisade Street", Clarify Area and Bulk Tables in Appendix B and Revise the Zoning Map to relocate the MDR-1 Boundary to Include both Sides of Maple Street Between South Broadway and Park Road and Re-Zone Single Parcel at Northwest Corner of Rochambeau Avenue and Broadway from MDR-1 to B"

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Minimum lot width (feet)	50	50	50	50	100	100	100	100
Minimum lot depth (feet)	100	100	100	100	100	100	100	200
Maximum lot coverage by buildings	27%	{27%} 40%	30%	30%	30%	30%	40%	40%
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Minimum rear yard setback (feet)	25	25	25	25	30	30	30	30
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Maximum Stories	<u>2.5</u>	<u>3</u>	<u>3</u>	<u>3</u>				
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Note:

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Abbreviations:

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(a) 3rd Floor must be set back 5 feet.

NOTE: ¹ Reference § 300-35D(8)(a)[1]-[2].

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* Every roof must comply with all building height requirements.

NOTE: ¹ Reference § 300-35D(8).

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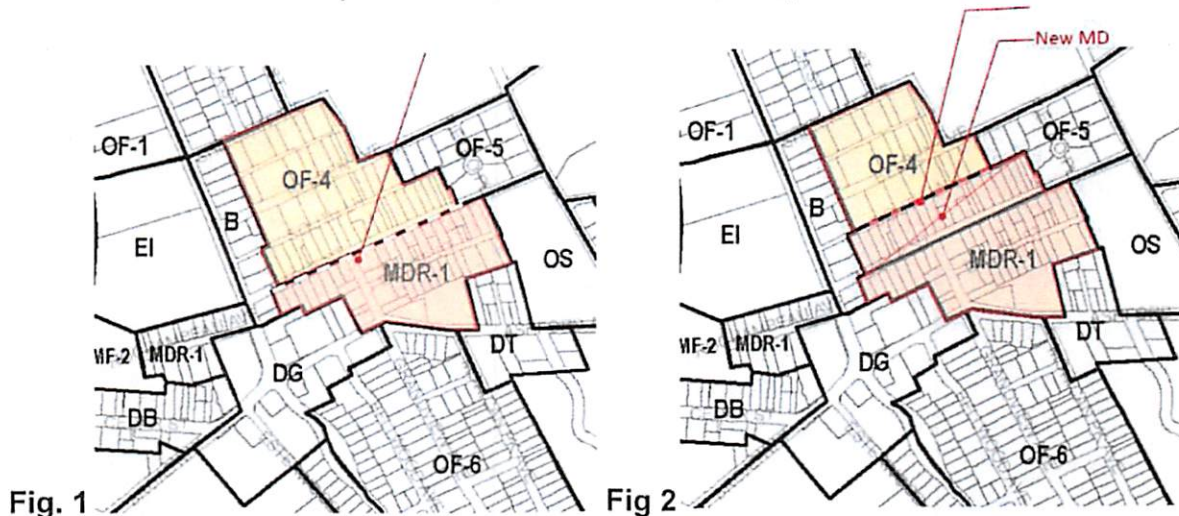
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Section 5. The Official Map of the Village of Dobbs Ferry is hereby amended by two changes in zoning district boundaries as follows:

Map Amendment 1 – North Side Maple Street



Existing Boundary between MDR-1 and OF-4 in center of Maple Street (fig 1) to be shifted north resulting in properties on both sides of Maple Street having the same MDR-1 Zoning classification (fig 2).

Map Amendment 2 – northwest corner Rochambeau Avenue and Broadway

Fig 3 Existing Boundary

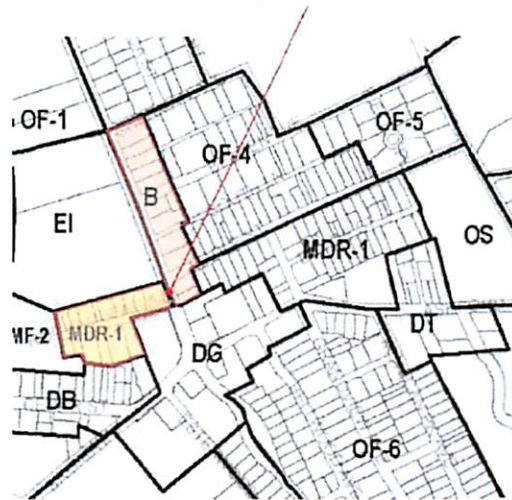
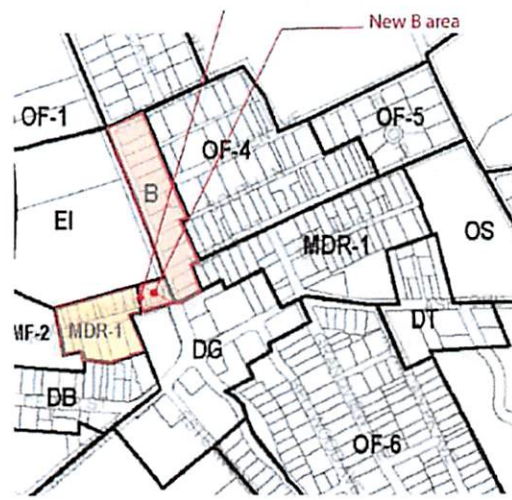


Fig 4 Proposed Boundary (new B area)



Existing Boundary in center of Broadway between MDR-1 and B zones (fig 3) to be shifted to move one large parcel west of Broadway into the B zone (fig 4).

Section 6. Except as otherwise provided herein, all other provisions of Chapter 300 shall remain the same.

Section 5. This Local Law shall take effect immediately upon filing with Secretary of State and shall be published and posted as required by NYS Village Law.



VILLAGE OF DOBBS FERRY BOARD OF TRUSTEES AGENDA

MEETING DATE: MAY 11, 2021
AGENDA ITEM SECTION: MATTERS REQUIRING ACTION
AGENDA ITEM NO. : 7
AGENDA ITEM: CONSIDERATION OF A PLANNING BOARD REFERRAL OF PROPOSED ZONING CODE CHANGES – MDR-2; AND CONSIDER A RESOLUTION TO SCHEDULE A PUBLIC HEARING FOR CONSIDERATION OF A OF A LOCAL LAW ON PROPOSED AMENDMENTS TO THE VILAGE ZONING TEXT, MAP AND TABLE
ITEM BACKUP DOCUMENTATION: <ol style="list-style-type: none">1. PROPOSED ZONING CODE UPDATES FROM MR. STEPHEN HUNTER/PLANNING BOARD CHAIRMAN TO THE BOARD OF TRUSTEES2. VILLAGE OF DOBBS FERRY ZONING CODE UPDATES – NARRATIVE DESCRIPTION OF THE PROPOSED ACTION3. ZONING AND LAND USE – APPENDIX B: DIMENSIONAL TABLES4. SHORT ENVIRONMENTAL ASSESSMENT FORM5. CHARACTER GUIDELINES FOR PALISADE STREET6. DRAFT RESOLUTION

RE: Proposed Zoning Code Updates

To the Village of Dobbs Ferry Board of Trustees,

I am sending this letter on behalf of the Dobbs Ferry Planning Board to refer three proposed zoning code updates to the Village Board. Enclosed below, we have provided a summary of the proposed zoning code updates as our recommendation for the Village Board to adopt these revisions. The proposed action involves revisions to the Village of Dobbs Ferry zoning map, zoning text, and revisions to area and bulk tables. There are three components of the proposed revisions:

- 1. Zoning map changes**
 - a. Relocate the boundary between the OF-4 and MDR-1 that currently runs down the center of Maple Street.**
 - b. Rezone the property at the northwest corner of Rochambeau Avenue and Broadway from MDR-1 to B.**
- 2. Zoning text changes**
 - a. Adopt the Character Guidelines for Palisade Street.**
- 3. Area and bulk tables**
 - a. Revisions to Appendix B: Dimensional Tables.**

The Planning Board has been considering each of the components of these proposed changes over the course of several meetings. Our members have conducted analysis of each of these changes to better understand their impacts and avoid unintended consequences. We held a public hearing on April 8, 2021 on these proposed changes. There was one public comment during the public hearing, which was in favor of the proposal.

Collectively, we believe the proposed updates will achieve three key objectives:

- 1. Reduce pre-existing non-conformities and better align zoning with existing development practices.**
- 2. Improve design outcomes for new development on Palisade Street.**
- 3. Clarify the intent of the Dimensional Tables in the zoning code.**

The following summarizes the proposed zoning code updates.

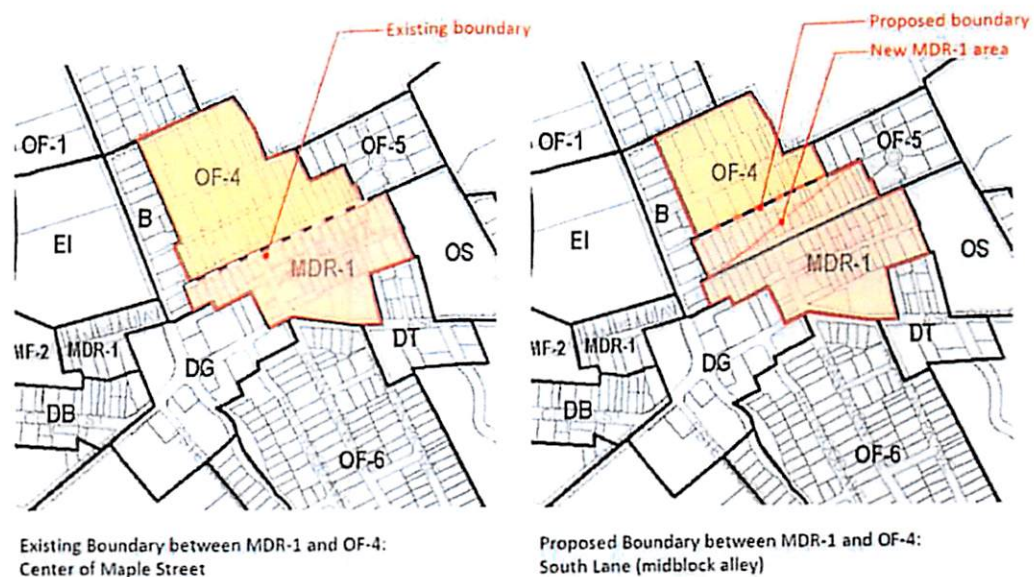
1. Zoning map changes

Zoning map changes are proposed to modify the Village of Dobbs Ferry zoning map to reflect existing built pattern. There are two proposed map changes included in the proposed action. Both of these changes will reinforce existing development patterns and reduce existing non-conformities, but they will not result in any new development that is different in scale or use as compared to existing development.

Relocate the boundary between the OF-4 and MDR-1 that currently runs down the center of Maple Street (between South Broadway and Park Road). This existing zoning district boundary splits the parcels on the north and south sides of Maple Street into different zoning districts

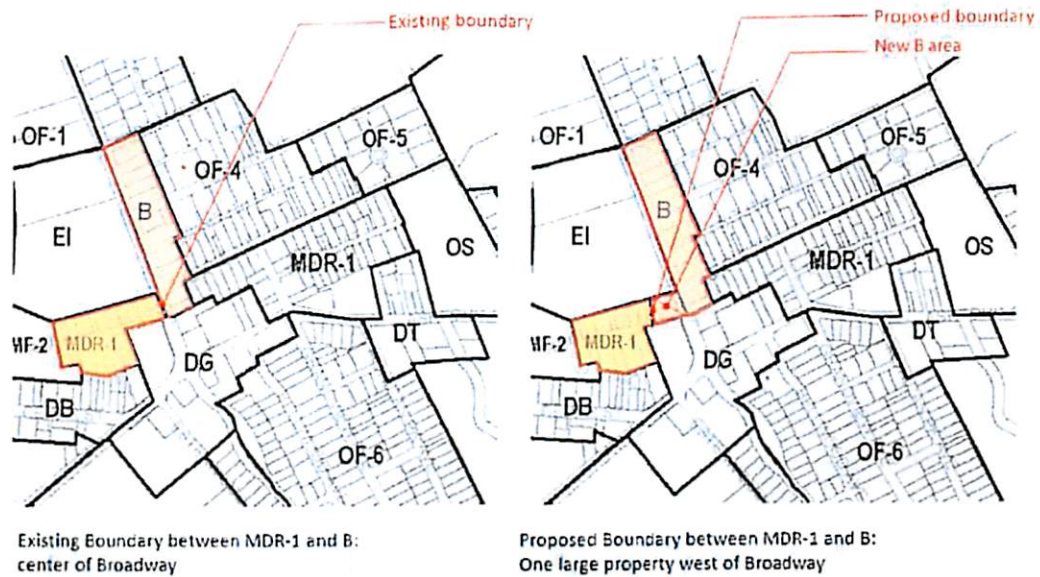
(MDR-1 south of Maple Street and OF-4 north of Maple Street). See Figure 1 below. However, the lot sizes, building scale, and uses are very similar on both sides of Maple Street. The minimum lot area in the MDR-1 district is 5,000 square feet, which accurately reflects the character on both sides of Maple Street. The minimum lot area in the OF-4 district is 10,000 square feet, which makes many of the properties on the north side of Maple Street nonconforming. By shifting this zoning district boundary to the north, so that the properties facing Maple Street are all in the MDR-1 district will more accurately reflect existing development patterns and reduce non-conformities.

Figure 1: New MDR-1 Area on the North Side of Maple Street



Rezoning the single property at the northwest corner of Rochambeau Avenue and Broadway from MDR-1 to B. The property located on this site is a large 2-1/2 story multi-family building. The site is currently zoned MDR-1. See Figure 2 below. However, the scale and character of this existing building is more similar to other structures located in the B district than it is to other structures located within the adjacent MDR-1. The multi-family use on the property is also allowed in the B district so this change does not create a non-conforming use. The B district would allow some small-scale commercial uses, as well as places of worship and daycare centers by special permit. Although these non-residential uses are not currently present on the property in question, they would be appropriate if added in the future because they would be consistent with the context along Broadway.

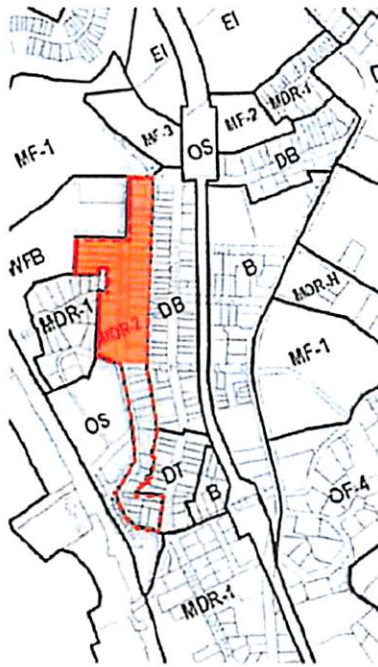
Figure 2: New B Area at the Northwest Corner of Rochambeau Avenue and Broadway



2. Zoning text changes

The proposed zoning text change is to adopt the Character Guidelines for Palisade Street. The objective of the character guidelines is to create a more uniform and distinctive scale and context with new development on Palisade Avenue between Chestnut Street and Cedar Street. See Figure 3 below. The guidelines are meant to reinforce the character of Palisade Street and inform the development approvals process by providing a clear understanding for applicants and land use boards of design criteria to improve the character. The proposed character guidelines do not change the existing area and bulk regulations of the MDR-2 zoning district. Rather, they provide guidelines for new development to follow to enhance the character of the existing context.

Figure 3: Location of the Character Guidelines for Palisade Street in the MDR-2 District



3. Revisions to area and bulk tables

Revisions to Appendix B: Dimensional Tables to clarify height and coverage provisions.

Appendix B: Dimensional Tables includes a series of tables that specify area and bulk provisions in certain zoning districts. The objective of this change is to add greater clarity to the area and bulk provisions related to maximum building height, maximum number of stories, maximum lot coverage by buildings, and maximum lot coverage by impervious surfaces. The proposed changes also include revisions to the "sliding scales" table that provides for reduced maximum lot coverage and building coverage for larger lots.

A majority of lots within the MDR-2 have pre-existing non-conformities related to lot coverage. The intent of these clarifications is to reduce the non-conformities and acknowledge that new construction should be consistent with current development patterns. In order to clarify the coverage requirements, the proposed revisions establish maximum building and impervious coverage standards for the MDR, B, and MF zoning districts (Table B-2). Then, the proposed revisions include an update of table B-3. Table B-3 establishes a sliding scale for building coverage and impervious surface coverage. However, the current table lacks clarity and consistency with other code provisions.

The proposed changes keep the sliding scale system, but they use the maximum coverage standards in Table B-2 as a starting point. The sliding scale system then applies a multiplier that reduces the maximum coverage for larger lots. By using these multipliers, the code now explicitly refers an applicant to the baseline maximum coverage standards. In this way, the

sliding scale now clearly applies to all residential zoning districts and uses Table B-2 as a reference point to create consistency.

I look forward to the Village Board taking up these proposed zoning code changes. The Planning Board has reviewed each of the components and we believe they represent improvements to our Village's zoning code. The Planning Board recommends that the Village Board considers and adopts each of the components of these proposed zoning code updates.

Sincerely,

Stephen Hunter

Chairman

Village of Dobbs Ferry Planning Board

VILLAGE OF DOBBS FERRY ZONING CODE UPDATES

Narrative Description of the Proposed Action

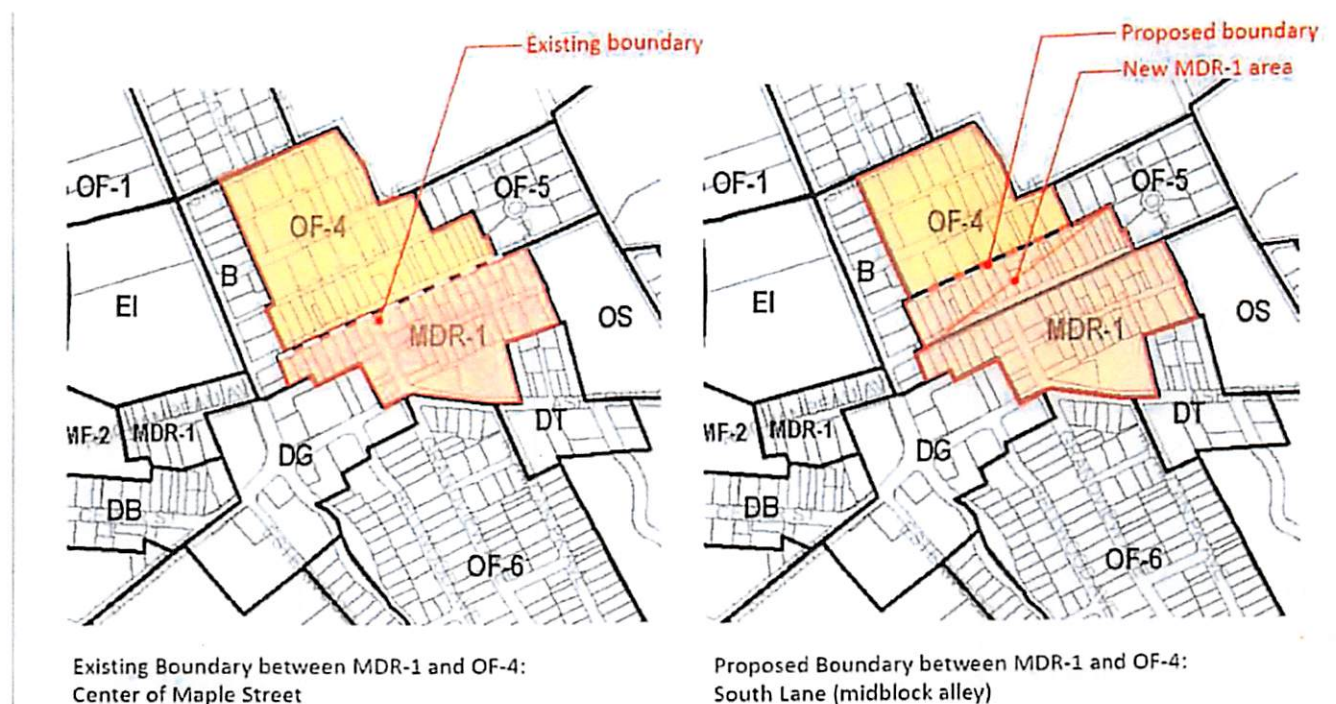
The proposed action involves revisions to the Village of Dobbs Ferry zoning map, zoning text, and revisions to area and bulk tables. There are three components of the proposed revisions:

1. Zoning map changes

Zoning map changes are proposed to modify the Village of Dobbs Ferry zoning map to reflect existing built pattern. There are two proposed map changes included in the proposed action. Both of these changes will reinforce existing development patterns and reduce existing non-conformities, but they will not result in any new development that is different in scale or use as compared to existing development.

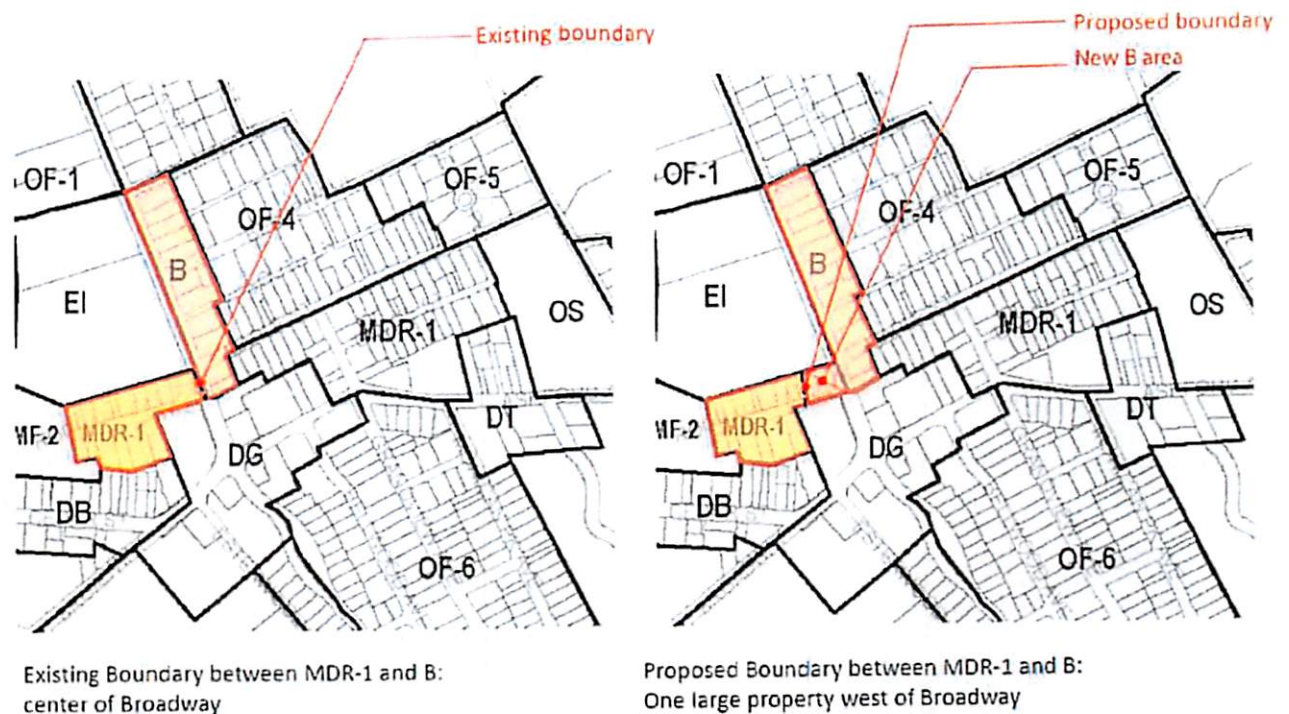
Relocate the boundary between the OF-4 and MDR-1 that currently runs down the center of Maple Street (between South Broadway and Park Road). This existing zoning district boundary splits the parcels on the north and south sides of Maple Street into different zoning districts (MDR-1 south of Maple Street and OF-4 north of Maple Street). See Figure 1 below. However, the lot sizes, building scale, and uses are very similar on both sides of Maple Street. The minimum lot area in the MDR-1 district is 5,000 square feet, which accurately reflects the character on both sides of Maple Street. The minimum lot area in the OF-4 district is 10,000 square feet, which makes many of the properties on the north side of Maple Street nonconforming. By shifting this zoning district boundary to the north, so that the properties facing Maple Street are all in the MDR-1 district will more accurately reflect existing development patterns and reduce non-conformities.

Figure 1: New MDR-1 Area on the North Side of Maple Street



Rezone the single property at the northwest corner of Rochambeau Avenue and Broadway from MDR-1 to B. The property located on this site is a large 2-1/2 story multi-family building. The site is currently zoned MDR-1. See Figure 2 below. However, the scale and character of this existing building is more similar to other structures located in the B district than it is to other structures located within the adjacent MDR-1. The multi-family use on the property is also allowed in the B district so this change does not create a non-conforming use. The B district would allow some small-scale commercial uses, as well as places of worship and daycare centers by special permit. Although these non-residential uses are not currently present on the property in question, they would be appropriate if added in the future because they would be consistent with the context along Broadway.

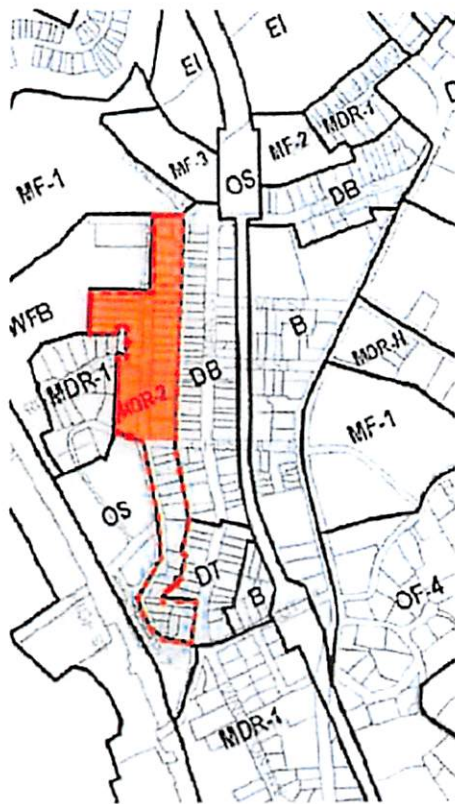
Figure 2: New B Area at the Northwest Corner of Rochambeau Avenue and Broadway



2. Zoning text changes

The proposed zoning text change is to adopt the Character Guidelines for Palisade Street. The objective of the character guidelines is to create a more uniform and distinctive scale and context with new development on Palisade Avenue between Chestnut Street and Cedar Street. See Figure 3 below. The guidelines are meant to reinforce the character of Palisade Street and inform the development approvals process by providing a clear understanding for applicants and land use boards of design criteria to improve the character. The proposed character guidelines do not change the existing area and bulk regulations of the MDR-2 zoning district. Rather, they provide guidelines for new development to follow to enhance the character of the existing context.

Figure 3: Location of the Character Guidelines for Palisade Street in the MDR-2 District



3. Revisions to area and bulk tables

Revisions to Appendix B: Dimensional Tables to clarify height and coverage provisions. Appendix B: Dimensional Tables includes a series of tables that specify area and bulk provisions in certain zoning districts. The objective of this change is to add greater clarity to the area and bulk provisions related to maximum building height, maximum number of stories, maximum lot coverage by buildings, and maximum lot coverage by impervious surfaces. The proposed changes also include revisions to the “sliding scales” table that provides for reduced maximum lot coverage and building coverage for larger lots.

A majority of lots within the MDR-2 have pre-existing non-conformities related to lot coverage. The intent of these clarifications is to reduce the non-conformities and acknowledge that new construction should be consistent with current development patterns. In order to clarify the coverage requirements, the proposed revisions establish maximum building and impervious coverage standards for the MDR, B, and MF zoning districts (Table B-2). Then, the proposed revisions include an update of table B-3. Table B-3 establishes a sliding scale for building coverage and impervious surface coverage. However, the current table lacks clarity and consistency with other code provisions.

The proposed changes keep the sliding scale system, but they use the maximum coverage standards in Table B-2 as a starting point. The sliding scale system then applies a multiplier that reduces the maximum coverage for larger lots. By using these multipliers, the code now explicitly refers an applicant to the baseline maximum coverage standards. In this way, the sliding scale now clearly applies to all residential zoning districts and uses Table B-2 as a reference point to create consistency.

ZONING AND LAND USE

300 Attachment 2

Village of Dobbs Ferry

Appendix B: Dimensional Tables

**Table B-1: OF Districts Dimensional Standards
[Amended 6-14-2011 by L.L. No. 6-2011]**

Zone	OF-6	OF-5	OF-4	OF-3	OF-2	OF-1
Minimum net lot area (square feet)	5,000	7,500	10,000	15,000	20,000	40,000
Minimum lot width (feet)	50	75	100	100	125	150
Minimum lot depth (feet)	100	100	100	100	125	150
Maximum lot coverage by buildings	27%	25%	22%	20%	18%	15%
Maximum lot coverage by impervious surfaces	54%	44%	40%	40%	40%	30%
Minimum front yard setback (feet)	20	25	25	30	30	40
Maximum front yard setback (feet)	prevailing	prevailing	prevailing	NA	NA	NA
Minimum rear yard setback	25	25	25	25	25	40
Minimum side yard setback (each) (feet)	10	10	12	15	20	20
Minimum side yard setback (both) (feet)	20	25	30	40	50	50

Note:

The net lot area is determined by deducting the adjustments specified in § 300-34A(2) from gross lot area.

DOBBS FERRY CODE

Table B-2: MDR, B and MF Districts Dimensional Standards
[Amended 6-14-2011 by L.L. No. 6-2011]

Zone	MDR-1	MDR-2	MDR-H	B	MF-1	MF-2	MF-3	MF-4
Minimum net lot area (square feet)	5,000	5,000	10,000	5,000	20,000	20,000	20,000	20,000
Minimum lot area per dwelling unit (square feet)	2,500	800	2,500	800	6,000	3,500	2,500	1,750
Minimum lot width (feet)	50	50	50	50	100	100	100	100
Minimum lot depth (feet)	100	100	100	100	100	100	100	200
Maximum lot coverage by buildings	27%	27% 40%	30%	30%	30%	30%	40%	40%
Maximum lot coverage by impervious surfaces	54%	54% 60%	60%	60%	60%	60%	60%	60%
Minimum front yard setback (feet)	20	20	20	prevailing	25	25	50	10
Minimum rear yard setback (feet)	25	25	25	25	30	30	30	30
Minimum side yard setback (each) (feet)	10	10	10	10	25	25	25	10
Minimum side yard setback (both) (feet)	20	20	20	20	50	50	50	20
Maximum Stories	2.5	3	3	3				
Maximum height	GP-MP 30	C-TF/MP 37						

Note:

The net lot area is determined by deducting the adjustments stipulated in § 300-34A(2) from gross lot area.

Abbreviations:

- *GP = Grade plane
- *R = Ridge
- *MP = Midpoint of sloped roof
- *TF = Top of flat roof
- *C = Curb

ZONING AND LAND USE

Table B-3: Residential Lot Dimensions and Coverage (Sliding Scales)

Lot area	Less Than 7,500 Square Feet	At Least 7,500 Square Feet but Less Than 10,000 Square Feet	At Least 10,000 Square Feet but Less Than 20,000 Square Feet	At Least 20,000 Square Feet but Less Than 40,000 Square Feet	40,000 Square Feet or Greater
Minimum lot width (feet)	Lot area/100	Lot area/100	100	100	150
Minimum lot depth (feet)	100	100	100	125	150
Maximum lot coverage by buildings	27% As per B1 & B2	22% x .82	20% x .75	18% x .67	15% x .56
Maximum lot coverage by impervious surfaces	54% As per B1 & B2	44% x .82	40% x .75	40% x .67	30% x .56

Table B-4: Residential Side Yard Setbacks (Sliding Scales)

Lot width	Less Than 75 Feet	Less Than 100 Feet but At Least 75 Feet	Less Than 125 Feet but At Least 100 Feet	Less Than 150 Feet but At Least 125 Feet	150 Feet or Greater
Minimum side yard setback (each) (feet)	10	10	12	15	20
Minimum side yard setback (both) (feet)	20	25	30	35	50

Table B-5: Residential Front and Rear Yard Setbacks (Sliding Scales)

Lot Depth	Less Than 125 Feet	Less Than 150 Feet but at Least 125 Feet	150 Feet or Greater
Minimum front yard setback (feet)	Lot depth/4	30	40
Minimum rear yard setback (feet)	25	40	40

DOBBS FERRY CODE

Table B-6: Residential Building Height (Sliding Scales)¹
[Amended 8-22-2017 by L.L. No. 6-2017]

Roof Pitch (Rise/Run)	0 to 0.25	0.25 to 0.30	Greater than 0.30	Maximum Height to Eave
OF and MDR-1 Districts (feet) GP-R	30	33	35	28
MDR-2, B , MF-1 MF-2 and Districts (feet) GP-MP/TF	30	35	40	28
MF-3 and MF-4 Districts (feet)	35	40	42	N/A
MDR-2 C-TF/MP (a)	37			
B C-TF/MP				

(a) 3rd Floor must be set back 5'.

NOTE:

¹Reference § 300-35D(8)(a)[1]-[2].

Table B-7: Residential Context Based Height and Massing Limits¹
[Amended 6-14-2011 by L.L. No. 6-2011; 8-22-2017 by L.L. No. 6-2017]

Requirement	Set Limits	Context Based Limits
Maximum ridge height	Default 28 30	Maximum 1.25 times the average ridge height of buildings on lots within the context limit area subject property.
Maximum eave height	Default 22 28	Maximum 1.15 times the average eave height of buildings on lots within the context limit area subject property.
Sky exposure plane OF & MDR-1		A plane set an a angle of 45° projected into the lot from a point set 10 feet above a lot line with the base of the 10 feet set at the average grade height between the lot line and the building.

*Every roof must comply with all building height requirements.

NOTE:

¹ Reference § 300-35D(8).

Abbreviations:

*GP = Grade plane

*R = Ridge

*MP = Midpoint of sloped roof

*TF = Top of flat roof

*C = Curb

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

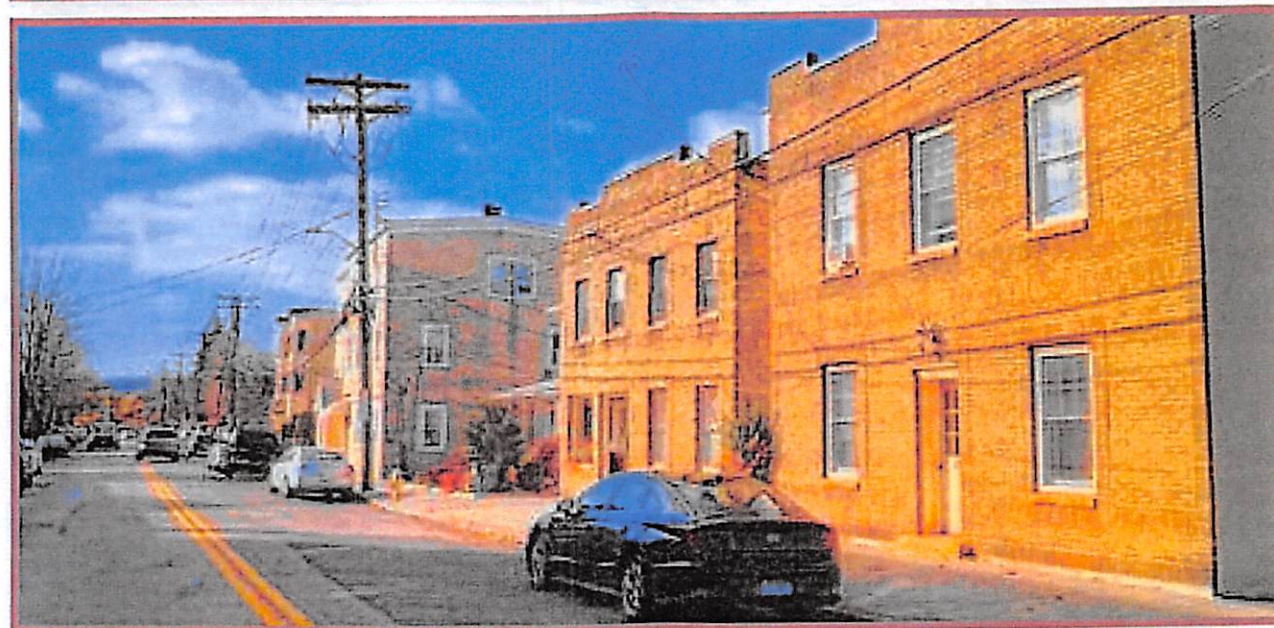
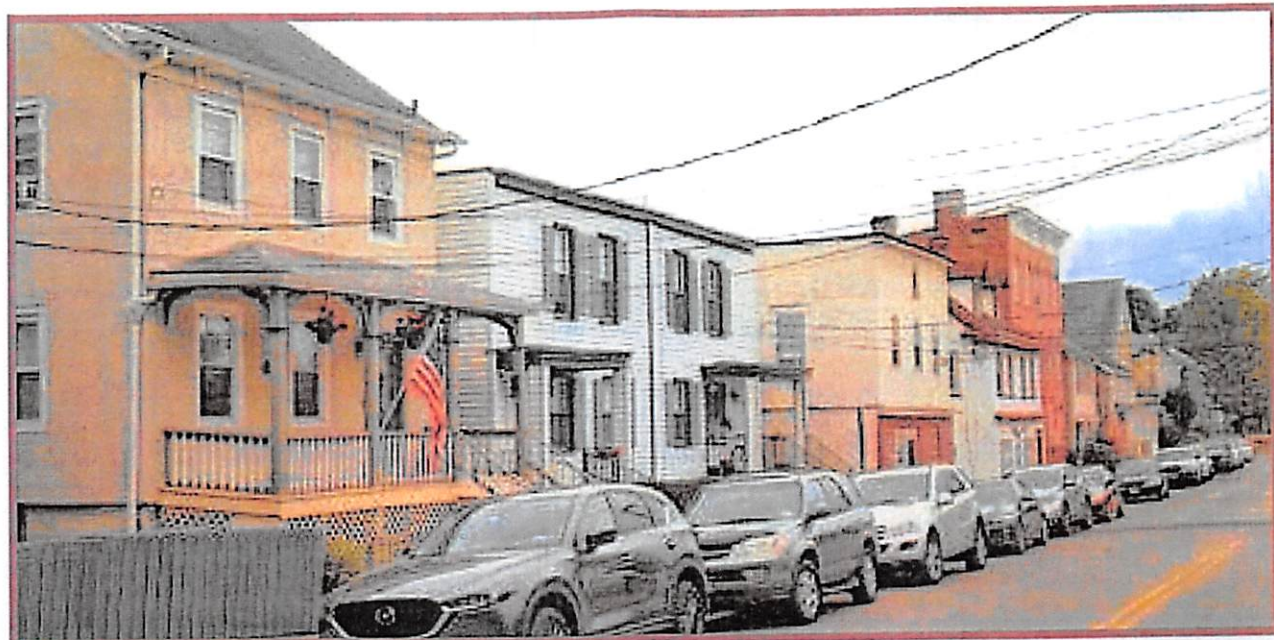
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information			
Name of Action or Project: Village of Dobbs Ferry Zoning Code Updates			
Project Location (describe, and attach a location map): Dobbs Ferry, NY			
Brief Description of Proposed Action: The proposed action involves revisions to the Village of Dobbs Ferry zoning map, zoning text, and revisions to area and bulk tables. The zoning map changes involve two minor revisions to the MDR-1 boundary to make the zoning boundaries more closely reflect the existing development patterns. These map changes would not result in increased area and bulk or new uses associated with new development, but would instead reduce the number of existing non-conformities. The text changes involve adoption of Character Guidelines for Palisades Street. The intent of the character guidelines is to reinforce the character of Palisades Street and inform the development approvals process by providing a clear understanding for applicants and land use boards of design criteria to improve the character. The proposed character guidelines do not change the existing area and bulk regulations of the MDR-2 zoning district. The revisions to the area and bulk tables add greater clarity to the area and bulk provisions related to maximum building height, maximum number of stories, maximum lot coverage by buildings, and maximum lot coverage by impervious surfaces. See attached narrative description for more information.			
Name of Applicant or Sponsor: Ed Manley		Telephone: (914) 231-8511 E-Mail: emanley@dobbsferry.com	
Address: 112 Main Street			
City/PO: Dobbs Ferry		State: New York	Zip Code: 10522
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval:		NO <input type="checkbox"/>	YES <input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres			
4. Check all land uses that occur on, are adjoining or near the proposed action: 5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations? b. Consistent with the adopted comprehensive plan?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	N/A <input type="checkbox"/> <input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____ _____	NO <input type="checkbox"/>	YES <input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____	NO <input type="checkbox"/> <input type="checkbox"/>	YES <input type="checkbox"/> <input type="checkbox"/>	

CHARACTER GUIDELINES FOR PALISADE STREET



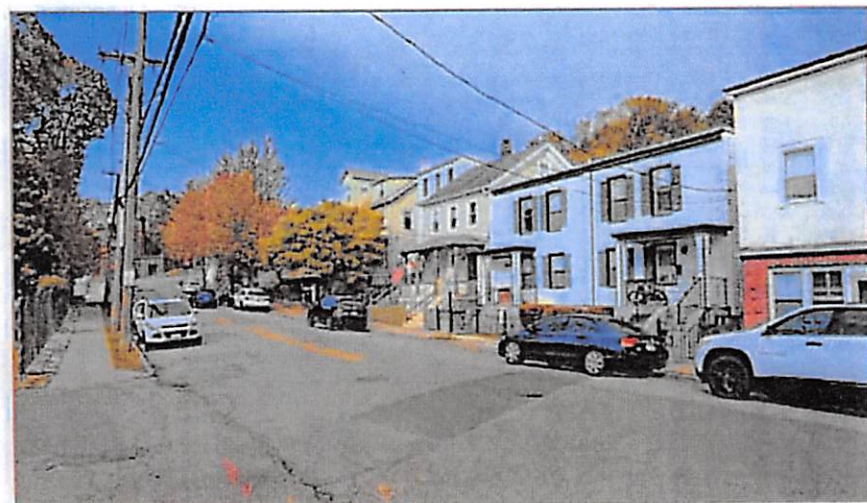


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Overview

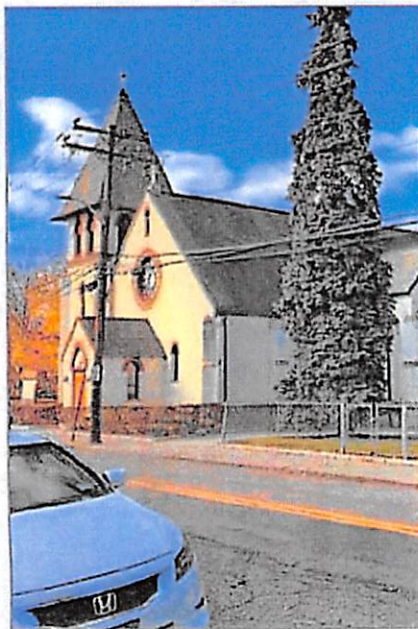
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Aerial view looking east of Palisade Street between Cedar Street and Chestnut Street. The red line represents the boundary of MDR-2 District. This is the focus area for these character guidelines.



Current aerial photo of downtown Dobbs Ferry. The red line represents the boundary of the MDR-2 district.



Palisade Street

Palisade Street Character Guidelines

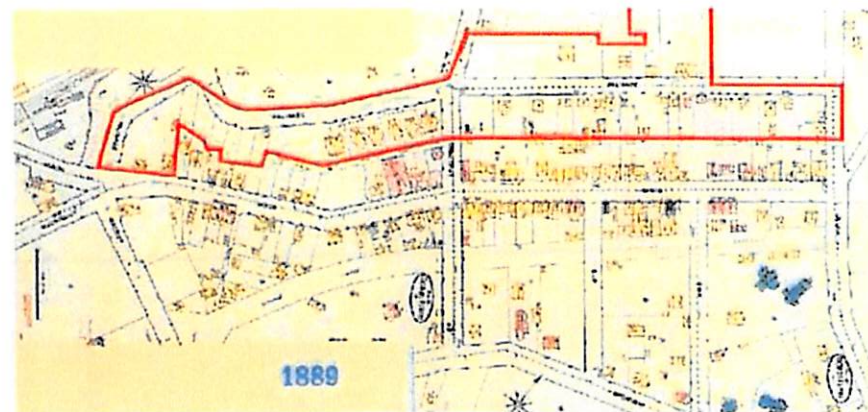
Palisade Street is part of Dobbs Ferry's historic downtown. A comparison below of the 1889 historic map and a current aerial photo shows that most of the buildings on the street today were extant in 1889. Of particular note is Hudson Terrace at the south end of the zone. This beautiful row of single-family houses sitting on a bluff overlooking the Hudson River is completely intact. Although it is an important part of the overall character of Palisade Avenue, it is not the focus of these design guidelines because any new development there would need to conform closely to what is already a very strong context of scale and architectural language. Here, the project review process is more directly informed by the convention that new construction "shall not be excessively similar or dissimilar" to the existing context, which is very strong in this location. The pending Downtown Historic District Guidelines are also a resource for applications in this part of the Downtown.

The context is not as strong along the rest of Palisade Avenue between Chestnut Street and Cedar Street. While, as noted above, most of the houses here are of similar age and character, there are many disparate conditions.

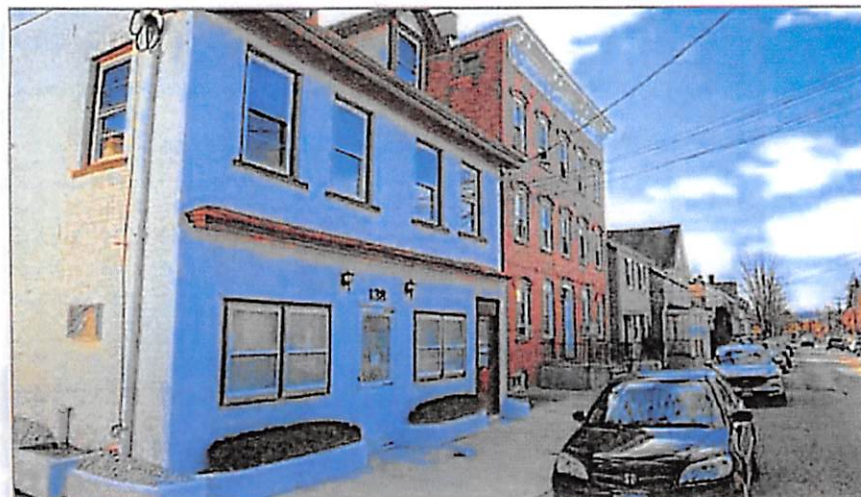
- there are very small houses on small lots
- there are 3-story apartment buildings
- there are former industrial buildings

The east side is more uniform and consistent in terms of the relationship of the buildings to the sidewalk. The west side has major discontinuities in the frontage conditions with some large setbacks and oversized buildings as well as large undeveloped sites at the north end.

Never the less, the street as a whole does have a distinctive character - an overall sense of enclosure, scale and texture - that is worth protecting.



1889. map of downtown Dobbs Ferry. The red line represents the boundary of the MDR-2 district.



Varied conditions along Palisade Street

These guidelines are meant to capture the character of Palisade Street and to explain it in ways that can inform the development approvals process, both for the applicant and the reviewing boards. These guidelines also support the revised quantitative requirements in Section 300 and accompanying Appendices of the Code.

The guidelines are organized around these five major aspects of Palisade Street character:

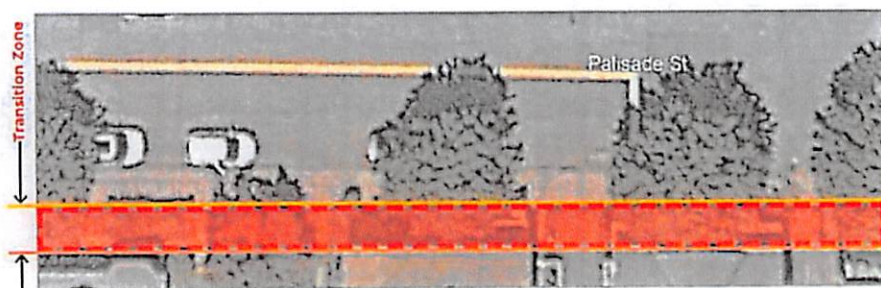
1. There is a transition zone between the public space of the sidewalk and the private space of the entrances.
2. Most of the buildings are small-scale two-story buildings with narrow frontages
3. Elements in the building frontages align horizontally
4. "Punched window" openings predominate
5. Most of the buildings have a similar scale

Part of the motivation for this effort is the need to reexamine the dimensional standards in the MDR-2 Zone (Mixed Density Residential 2). This zone takes in all of Palisade Street with the exception of the two large properties at the north end of the street which are part of the WF-B Zone (Waterfront District B). Several of the provisions in the MDR-2 Zone, especially those regarding coverage, height and the way height is measured, are reexamined. In parallel with the development of these guidelines, revised standards are suggested. Applicants are referred to Section 300 and Appendix B of the Code for these revised dimensional standards.



Zoning map of downtown Dobbs Ferry. The red line represents the boundary of the MDR-2 district. The shaded area is the full study area including the Palisade street edge of the WFB district.

Transition Zone: Elements and Conditions



PART 1

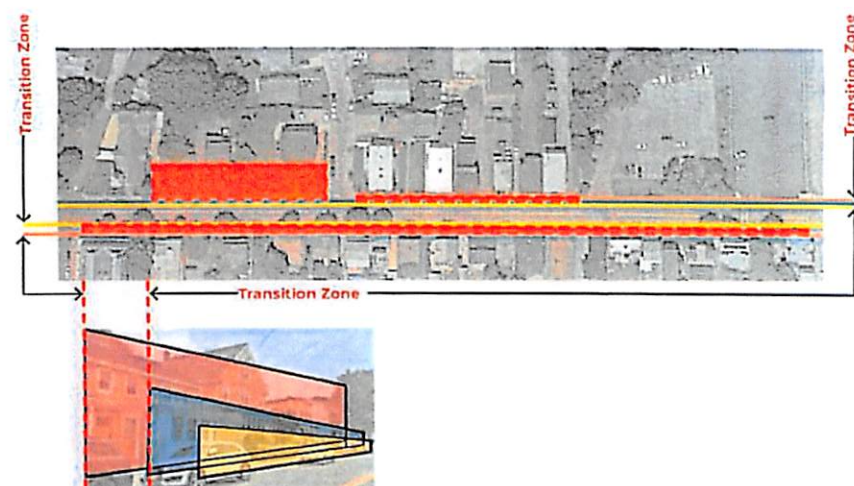
Public-Private Transition

Public to Private Realm

The transition from the public realm of the sidewalk to the private realm of the building entrance is characteristic of Palisade Street. Typically, the principle mass of the building is set back from the sidewalk anywhere from 10 to 15 feet. This space is occupied by smaller-scale elements that mediate between the larger scale of the primary building mass and the pedestrian-scale experience of the sidewalk. The elements in this zone are of different kinds. They include among others:

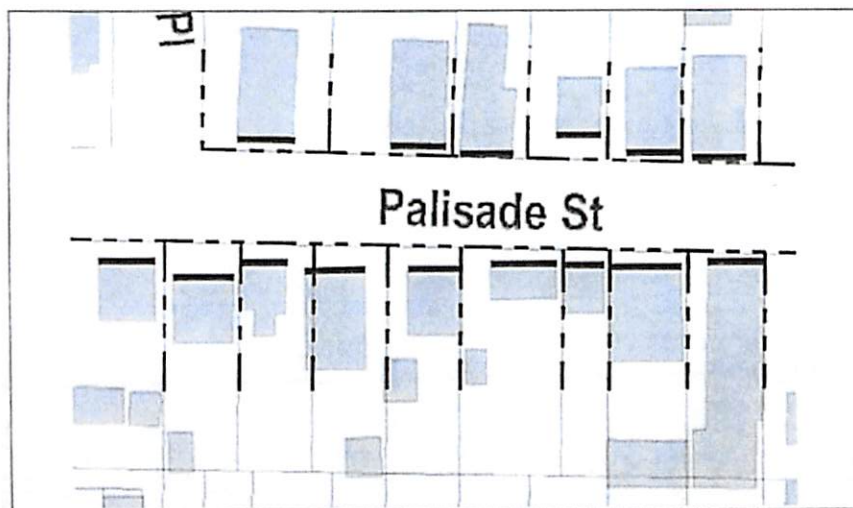
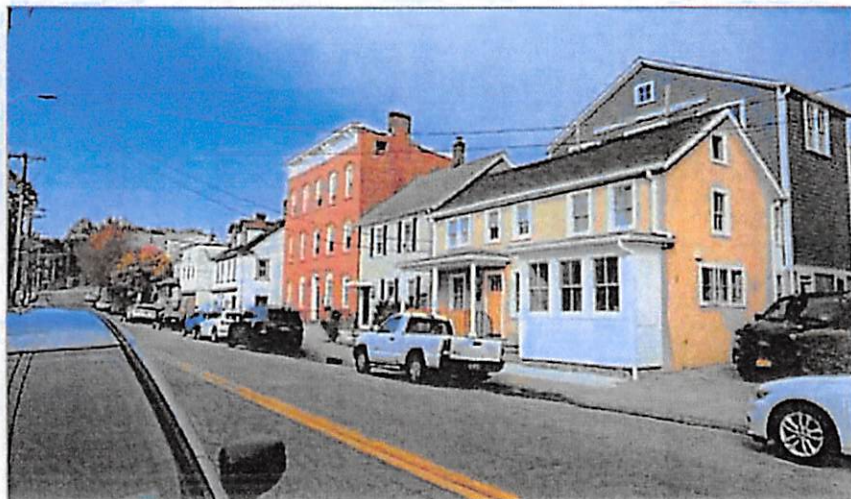
- open porches
- enclosed porches
- stoops
- planting areas

This condition is not universal: There are some buildings where the principal mass of the building and its entry come right up to the front property line at the sidewalk. But these are the exceptions and the abrupt juxtaposition of the entry and sidewalk is an inferior condition.



Guideline

A 10' to 15' transition zone shall be created between the sidewalk and the primary building mass. The transition zone is not just a front setback – it shall contain smaller scale elements such as single-story porches or planting beds with low walls.



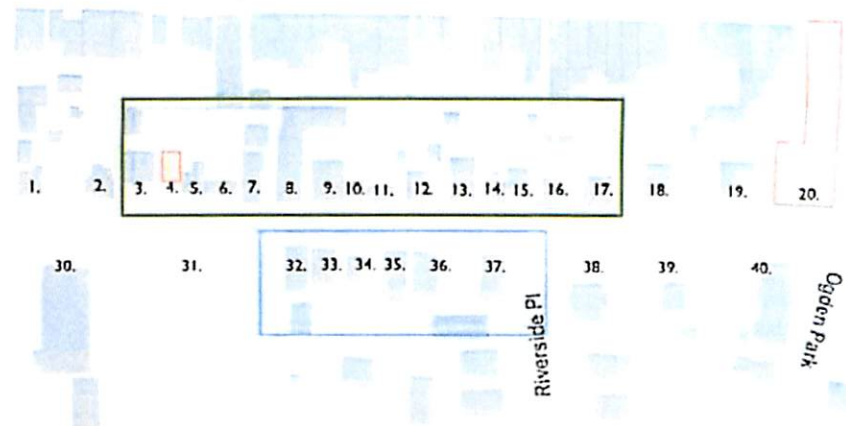
Along Palisade Street, most lots are narrow with small buildings occupying most of the frontage, creating the compact scale of the village downtown.

PART 2 Frontage Scale

Frontage Scale: Street Presence

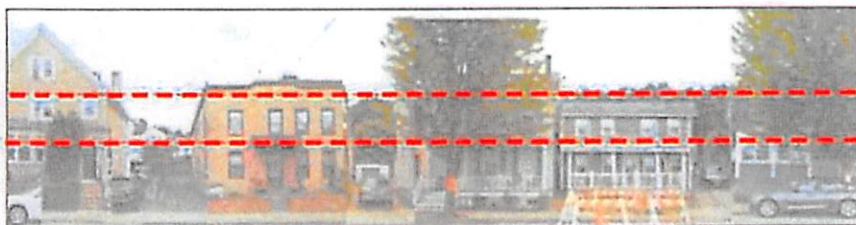
The scale of the frontages that the buildings present to the street are quite uniform along Palisade Street even though there is quite a bit of variation in the frontage width of the lots. There are a few outliers: some lots at the far south end of the study area are quite wide – approximately 80 to 100 feet – as are the lots at the far north end – approximately 60 to 75 feet respectively.

The most typical conditions are found in the central part of the block, in the area outlined in green. Because the lots are narrow, the buildings occupy about 60% to 80% of the lot width. Of the 18 buildings in this most typical area, 12 buildings have frontages of between 25' to 35' and another 6 buildings have frontages of between 35' to 40'. The average frontage is approximately 33'. Because there is a sliding scale that will moderate the size of buildings on the larger lots, 40' is recommended as the maximum frontage for the primary mass of the building.

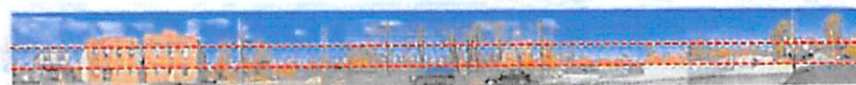
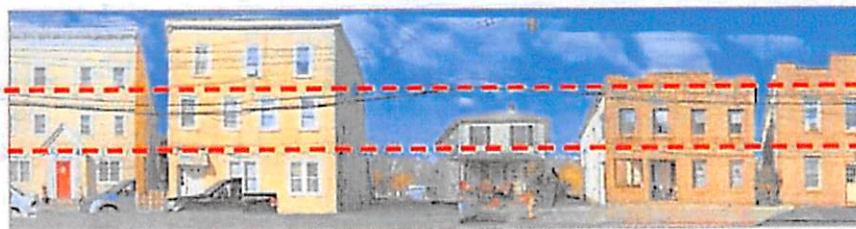


Guideline

The Primary Volume of the building shall be a maximum of 40' in width.



Panorama of east side of Palisade Street. (horizontal expression lines shown in dashed red lines).



Panorama of west side of Palisade Street. (horizontal expression lines shown in dashed red lines).

PART 3

Facade Composition

Horizontal Expression Lines

As varied as they are, the buildings along Palisade Street share architectural features that align horizontally, tying the streetscape together. One horizontal expression line, at approximately the heights of the 2nd floors, is created by the tops of the open porches, enclosed porches, bay windows and some other smaller façade elements such as lintels over the first floor windows. A second horizontal expression line corresponds to the top parapets of the buildings with flat roofs or the eave line of the buildings with pitched roofs. New buildings should respond to these expression lines at the 2nd floor and 3rd floor elevations. (see also the massing guide-lines below).



Guideline

Buildings shall create a horizontal expression line at the 2nd floor elevation (approximately 25' as measured from the middle of the Palisade Street frontage). Buildings shall create a horizontal expression line at the 3rd floor elevation which can be either the eave of the pitched roof or a setback between the 2nd and 3rd floors of a flat-roofed building (approximately 37' as measured from the middle of the Palisade Street frontage).

Typical Facade: Punched Windows



Typical punched window facades

PART 4

Facade Composition

Punched Windows

Most of the facades along Palisade Street have so-called "punched windows" the facades have more solid surface area than open, giving the impression that the windows have been "punched" out of a solid wall. The windows are taller than wide, often double hung with divided lites. New facades should have compatible proportions and rhythm. (See also the Downtown Historic District guidelines for other parameters and guidelines related to fenestration).

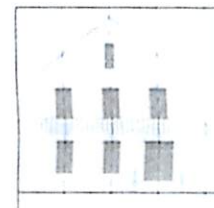


Image courtesy of Hart Howerton Architects

Guideline

Building window openings shall be "punched openings" with a scale and pattern similar to the other buildings on Palisade Street. The total area of window openings shall not exceed 50% of the total wall area of the primary volume of the building.

Massing and Scale

While there are some outliers, the majority of the buildings along Palisade Street are similar in terms of overall massing and scale.

In terms of coverage, an analysis was done of the coverages of the existing buildings in the most typical, core study area. There is variation even within the study area. Rather than simply finding the average, a coverage guideline of 40% insures that three quarters of the existing properties conform with the new zoning standard. As elsewhere, the contextual zoning provides a sliding scale that calibrates the base coverage for sites of different sizes. (See Section 300 and Appendix B of the Code).

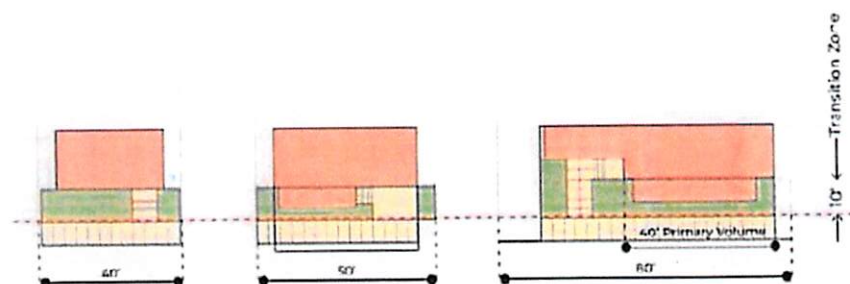
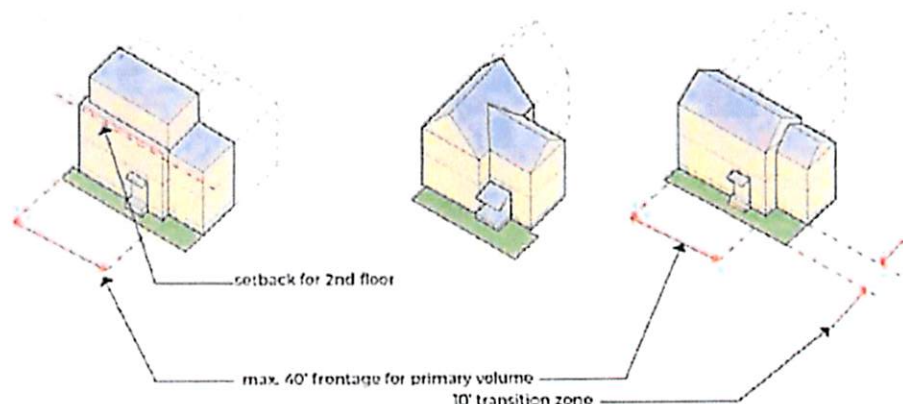
In terms of massing, the scale of the street is created by buildings that consist typically of a single, primary volume which is generally two stories high. Typically, there is a pitched roof facing the street or parallel to the street although there are several flat-roofed buildings as well. As is typical for buildings of this vintage, there are often additions and extensions that have been added over time. But these additions are always clearly secondary to the principal volume of the building.

To maintain the sense of scale of the street, it should always be possible to read a primary volume that is no wider than 40'. Additions and extensions shall be clearly set back from the 40' frontage of the primary volume.

This still enables larger buildings because, within the coverage constraints, it is possible to add to the sides of the primary volume; or, because these properties are so much deeper than they are wide, to add onto the back of the primary volume.

Buildings shall be a maximum of three stories in height. To create the characteristic horizontal expression lines discussed above, flat roofed buildings shall have a setback between the second and third floors. Pitched roof buildings, where the third floor living space is created by dormers, shall have an eave between the second and third floors.

(see Section 300 and Appendix B for dimensional standards)



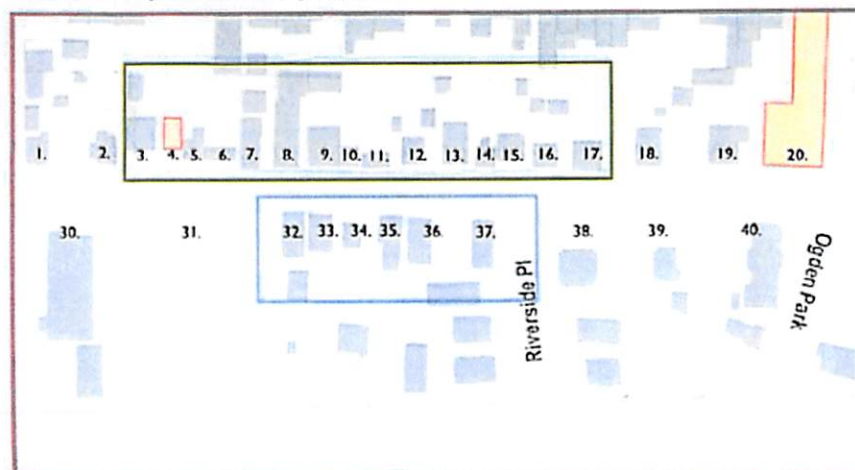
Massing guidelines- typical frontage conditions

Guideline

- There shall be a clearly articulated Primary Volume. Other massing shall be secondary in scale.
- Maximum Frontage for the Primary Volume shall be 40'.
- A setback shall be created between the 2nd and 3rd floors.
- Smaller massing elements at the first floor level shall help articulate the transition from the sidewalk to the Primary Volume.

Appendix 1: Frontages Map

*See Appendix Key Chart with Frontages, opposite



Appendix 2: Coverages Map

MDR2 Coverages

Overall

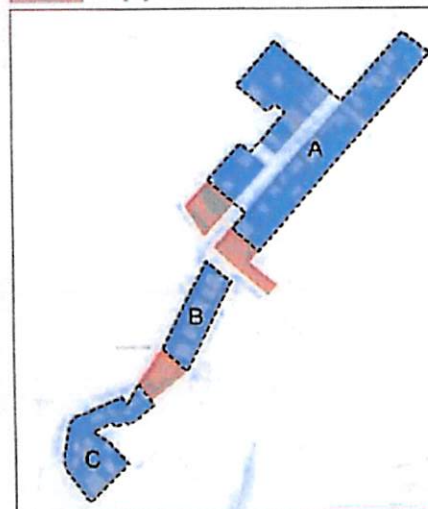
MDR 2 .29

By Subarea

Subarea A .28

Subarea B .35

Subarea C .28



Appendix 1: Frontages Chart

*See Appendix Key Map with Frontages, opposite

Frontages- East

Key Number	lot width	frontage	ratio
1	58'	26'	45%
2	75'	39'	52%
3	45'	34'	75%
4	50'	21'	46%
5	25'	46'	80%
6	48'	40'	83%
7	42'	26'	62%
8	42'	29'	70%
9	45'	39'	87%
10	23'	25'	87%
11	58'	37'	64%
12	40'	32'	80%
13	38'	33'	87%
14	42'	27'	64%
15	42'	30'	71%
16	58'	34'	59%
17	42'	39'	93%
18	80'	35'	44%
19	105'	40'	38%
20	85'	76'	89%
RANGES			
25' to 30'		7	
30' to 40'		12	
Average:		550' / 18	33'

Frontages- West

Key Number	lot width	frontage	ratio
30	100'	NA	NA
31	220'	NA	NA
32	42'	30'	72%
33	42'	37'	76%
34	40'	22'	55%
35	40'	28'	70%
36	65'	34'	52%
37	65'	34'	52%
38	74'	40'	54%
39	100'	35'	35%
40	145'	48'	33%
RANGES			
20' to 30'		2	
30' to 50'		7	
Average:		303' / 9	34'



PALISADE STREET: CHARACTER GUIDELINES

This document was created for the Village of Dobbs Ferry by Robert Lane and Steve Brosanhan of the Planning Board and Lair Rosenkranz of the Architectural and Historic Review Board with the advice and support of other members of the Planning Board, Village Board Liaison Donna Cassell and Village Planner Dwight Douglas.

Graphic design templates provided by Stephen Tilly, Architect.

RESOLUTION AUTHORIZING CERTAIN ACTIONS
PB-RECOMMENDED ZONING CODE UPDATES

WHEREAS, the Board of Trustees has received recommendations from the Planning Board for updates to the Village Code Chapter 300 “Zoning”, including a proposed change to the zoning map, amendment of zoning text and an update of the dimensional table in Appendix B, to achieve three key objectives: (i) reducing pre-existing non-conformities and better align zoning with existing development practices; (ii) improving design outcomes for new development on Palisade Street; and (iii) clarifying the intent of the dimensional tables; and

WHEREAS, after presentation and review of the recommendations at a public meeting on May 11, 2021, the Board of Trustees is amenable to considering a local law in furtherance of the recommendations; and

WHEREAS, for purposes of New York State Environmental Quality Review Act, Part 1 of an Environmental Assessment Form has been prepared for the proposed action and the matter now requires referral and circulation of notice to meet legal requirements for revisions to the Village’s zoning code and map.

NOW THEREFORE BE IT RESOLVED, that as the sole approval authority for the above detailed action, the Board of Trustees hereby declares itself Lead Agency for purposes of SEQRA and based on review of Part 1 of the EAF determines the proposed zoning revisions to be an Unlisted Action; and

BE IT FURTHER RESOLVED, that, the Board of Trustees calls for an introductory local law to be drafted reflecting the proposed amendments to the Village Zoning text, map and table and calls for a public hearing to take place on June 8, 2021 at 6:30 p.m., or as soon thereafter as the matter may be heard to consider the proposed zoning amendments; and

BE IT FURTHER RESOLVED, that the above referenced local law proposing zoning amendments and notice of hearing shall be referred, circulated and made available by the Village Clerk in accordance with applicable law.



VILLAGE OF DOBBS FERRY
112 Main Street
Dobbs Ferry, New York 10522
TEL: (914) 231-8500 • FAX: (914) 693-3470

RESOLUTION 38-2021

**RESOLUTION OF THE BOARD OF TRUSTEES OF THE VILLAGE OF DOBBS FERRY
AUTHORIZING CERTAIN ACTIONS, PLANNING BOARD RECOMMENDED ZONING CODE
UPDATES**

WHEREAS, the Board of Trustees has received recommendations from the Planning Board for updates to the Village Code Chapter 300 "Zoning", including a proposed change to the zoning map, amendment of zoning text and an update of the dimensional table in Appendix B, to achieve three key objectives: (i) reducing pre-existing non-conformities and better align zoning with existing development practices; (ii) improving design outcomes for new development on Palisade Street; and (iii) clarifying the intent of the dimensional tables; and

WHEREAS, after presentation and review of the recommendations at a public meeting on May 11, 2021, the Board of Trustees is amenable to considering a local law in furtherance of the recommendations; and

WHEREAS, for purposes of New York State Environmental Quality Review Act, Part 1 of an Environmental Assessment Form has been prepared for the proposed action and the matter now requires referral and circulation of notice to meet legal requirements for revisions to the Village's zoning code and map.

NOW THEREFORE BE IT RESOLVED, that as the sole approval authority for the above detailed action, the Board of Trustees hereby declares itself Lead Agency for purposes of SEQRA and based on review of Part 1 of the EAF determines the proposed zoning revisions to be an Unlisted Action; and

BE IT FURTHER RESOLVED, that, the Board of Trustees calls for an introductory local law to be drafted reflecting the proposed amendments to the Village Zoning text, map and table and calls for a public hearing to take place on June 8, 2021 at 6:30 p.m., or as soon thereafter as the matter may be heard to consider the proposed zoning amendments; and

BE IT FURTHER RESOLVED, that the above referenced local law proposing zoning amendments and notice of hearing shall be referred, circulated and made available by the Village Clerk in accordance with applicable law.

Motion by: Deputy Mayor Cassell

Seconded by: Trustee Patino

MAYOR ROSSILLO	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
DEPUTY MAYOR CASSELL	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
TRUSTEE DAROCZY	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
TRUSTEE KNELL	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
TRUSTEE PATINO	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
TRUSTEE SULLIVAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
TRUSTEE TAYLOR	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	AYE: 7	NAY: 0	ABSTAIN: 0	RECUSE: 0	ABSENT/EXCUSED: 0
RESULT:	MOTION PASSES				

I hereby attest that the above Resolution was approved by the Board of Trustees at its May 11, 2021 meeting, and that I have been authorized to sign this Resolution by decision of the Board of Trustees.


Elizabeth Dreaper, Village Clerk

Date: May 12, 2021