



## **VILLAGE OF DOBBS FERRY BOARD OF TRUSTEES AGENDA**

**MEETING DATE:** JUNE 28, 2022

**AGENDA ITEM SECTION:** PRESENTATIONS

**AGENDA ITEM NO. :** 1

**DEPARTMENT:** BUILDING DEPARTMENT

**AGENDA ITEM:**

**DISCUSSION:** LOMBARDO'S RESTAURANT, 10 HAMILTON SITE  
PLAN REVIEW

**RESOLUTION:** LOMBARDO'S RESTAURANT, 10 HAMILTON SITE  
PLAN REVIEW

**ITEM BACKUP DOCUMENTATION:**

1. DRAFT RESOLUTION
2. MEMORANDUM DATED JUNE 21, 2022 FROM MS. VALERIE MONASTRA, AICP/VILLAGE CONSULTING PLANNER TO MAYOR ROSSILLO AND THE BOARD OF TRUSTEES
3. LETTER DATED MAY 11, 2022 FROM MR. PADDY STEINSCHNEIDER/PRESIDENT, GOTHAM DESIGN PLANNING & DEVELOPMENT LTD TO MR. DAN ROEMER/BUILDING INSPECTOR
4. LETTER DATED JANUARY 14, 2022 FROM MR. MICHAEL McANDREWS TO MR. MARIO LOMBARDO
5. PERMIT APPLICATION
6. COASTAL ASSESSMENT FORM
7. SHORT ENVIRONMENTAL ASSESSMENT FORM
8. DRAWINGS
9. RENDERINGS
10. SITE PLAN

**RESOLUTION FOR THE REFERRAL TO BOARDS AND SEORA REVIEW OF THE  
SITE PLAN APPLICATION FOR 10 HAMILTON STREET (LOMBARDO'S)**

**WHEREAS**, at the meeting on June 28, 2022 the Board of Trustees of the Village of Dobbs Ferry acknowledged receipt of an application by Mario Lombardo concerning a site plan revision at Lombardo's Restaurant, referred in accordance with Dobbs Ferry Zoning Code §300-52(B)(2) by the Building Inspector serving as Land Use Officer, for property at 10 Hamilton Street (Rivertown Square) in the CP ("Chauncey Park") Zoning District for construction of an approximately 1,149 square foot pergola with a retractable roof and walls for use as outdoor seating for up to sixty (60) dining patrons ("Project"); and

**WHEREAS**, following presentation of the Project overview by the applicant's representatives, the Board must now take certain actions prior to conducting further review of the site plan application in compliance with applicable laws, such as the New York State Environmental Quality Review Act and corresponding regulations thereto ("SEQRA"), the Dobbs Ferry Zoning Code and NYS General Municipal Law.

**NOW, THEREFORE, BE IT**

**RESOLVED**, that, based on a review of the Environmental Assessment Form, the Board of Trustees of the Village of Dobbs Ferry classifies the project as a Type II action in accordance with the NY State Environmental Quality Review Act (Environmental Conservation Law, Article 8) and its implementing regulations which indicates that no further environmental review is required; and be it further

**RESOLVED** that, as an essential precondition to further review of the proposed Project, the Board of Trustees of the Village of Dobbs Ferry hereby directs that the Project be referred for comment and recommendation to the Dobbs Ferry Planning Board as required by the Zoning Code §300-52(B)(3), and referred for informational purposes to the Westchester County Planning Board in accordance with General Municipal Law §239 based on the proximity of the subject property to the Village's municipal boundary and the Saw Mill River Parkway.



## MEMORANDUM

**TO:** Mayor Rossillo and Members of the Village of Dobbs Ferry Board of Trustees

**FROM:** Valerie Monastra, AICP

**CC:** Melissa Ferraro, Village Administrator  
Lori Lee Dickson, Esq., Village Attorney  
Dan Roemer, Building Inspector

**DATE:** June 21, 2022

**RE:** 10 Hamilton Avenue (Rivertown Square)

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Mario Lombardo ("Applicant") is seeking Site Plan approval for the construction of a 1,149 sq. ft. pergola with a retractable roof and walls for exterior dining for up to 60 patrons ("Project"). The proposed pergola will be located in the area designated for outdoor dining, but it will enable this space to be used during inclement weather. The Applicant provided a letter from the owner, Regency Centers, that permits the submission of a Site Plan application. The property is located at 10 Hamilton Avenue, Section Block and Lot 3.180-156-2 ("Project Site") and is in the CP, Chauncey Park Zoning District.

### GENERAL AND PROCEDURAL COMMENTS

1. **County Board Referral.** This Project requires a notification to the Westchester County Planning Board per sections 239 L, M, and N of the New York State General Municipal Law and section 277.61 of the County Administrative Code because the project is within 500 feet of the boundary of the Village of Dobbs Ferry and within 500 feet of the Saw Mill Parkway.
2. **Village Clerk Notification.** Per Section 239 NN of the New York State General Municipal Law, this project will require notification to the Village of Ardsley and the Town of Greenburgh as it is a site plan review and within 500 feet of the adjacent municipality. Notice shall be given by mail or electronic submission at least ten days prior to the public hearing(s).
3. **SEQR.** This application is categorized as a Type II action under SEQR because it consists of the "construction or expansion of a primary or accessory/appurtenant, non-residential structure or facility involving less than 4,000 square feet of gross floor area and not involving a change in zoning or a use variance and consistent with land use controls." No additional SEQR review is necessary.

4. **Site Plan Approval.** This application requires Site Plan approval by the Village Board of Trustees and a recommendation to the Planning Board per Section 300-52 of the Zoning chapter. A public hearing conducted by the Village Board will be required for Site Plan approval.
5. **Zoning.** The project site is in the CP, Chauncey Park Zoning District. The Applicant provided a bulk table for the CP district. The proposed pergola will meet the bulk requirements of the district.

This project will increase the seating by 60 patrons. The Applicant proposes to use the existing parking lot to accommodate the additional patrons. A review of the prior site plan approval should be undertaken to confirm that there are no restrictions on the parking that would prevent Lombardo's from accessing the existing spaces for their proposed expansion.

6. **Architectural and Historic Review Board.** This application will require Architectural and Historic Review Board approval.
7. **Local Waterfront Revitalization Consistency.** The Village Board will need to make a consistency determination with the Village's LWRP per §300-52 (D) as part of its final Site Plan approval. The Applicant has provided a Coastal Consistency Form.

## **SUBMISSION MATERIALS**

The following materials were submitted by the Applicant and examined by our office for the preparation of this review:

- Narrative Letter by Gotham Design Planning and Development Ltd. dated May 11, 2022
- Coastal Assessment Form dated May 5, 2022
- Short Environmental Assessment Form Part 1 dated May 5, 2022
- Letter from Regency Centers, signed by Michael McAndrews and dated January 13, 2022
- Site Plans by Gotham Design Planning and Development Ltd. dated June 17, 2022
  - Sheet CS List of Drawings;
  - Sheet A-2 Site Plan
  - Sheet A-2.1 Proposed Floor Plan
  - Sheet A-3.1 Pergola Elevations and Renderings



# GOTHAM

Padriac Steinschneider  
Gotham Design Planning & Development Ltd.  
329 Broadway  
Dobbs Ferry, New York 10522  
(914) 693-5093 ■ Fax: (914) 693-5390  
(914) 906-4802 cell ■ [arch329@gmail.com](mailto:arch329@gmail.com)

May 11, 2022

Dan Roemer, Building Inspector  
Dobbs Ferry Building Department  
112 Main Street  
Dobbs Ferry, New York 10522

**Re: Lombardos Restaurant  
10 Hamilton Street**

Dear Dan:

This letter is to submit an application to the Village for the construction of a Pergola at Lombardo's Restaurant to improve the viability of outdoor dining. It is our understanding that this will require a presentation to the Board of Trustees and a referral to both the Planning Board and the Architectural and Historic Review Board, but that it starts with a submission to your office.

Attached please find the following:

1. A set of four sheets of drawings prepared by Gotham Design Planning & Development Ltd., dated as released for submission to the Building Department on May 5, 2022, including the following:
  - A. Sheet CS List of Drawings; Location Maps; Design Criteria
  - B. Sheet A-2 Site Plan
  - C. Sheet A-2.1 Proposed Floor Plan
  - D. Sheet A-3.1 Pergola Elevations and Renderings
2. A copy of the Survey prepared for Saber Dobbs Ferry LLC, by Badey & Watson Surveying and Engineering, P.C., dated December 15, 2017.
3. A copy of the EAF prepared for this project, dated May 5, 2022.
4. A copy of the Coastal Assessment Form, dated May 5, 2022.
5. A copy of the letter from Regency Centers, signed by Michael McAndrews and dated January 13, 2022, acknowledging that they, as the property owner, have approved the project and noting that the Tenant is responsible for obtaining all permits and approvals from the Village.
6. A copy of the Permit Application dated May 10, 2022 and the Authorization Affidavit dated May 11, 2022.

Please let me know what else is needed for this project to move forward.

Thank you for your time and attention.

Sincerely,

Gotham Design Planning & Development, Ltd.  
Paddy Steinschneider, President  
As Agent for Mario Lombardo, Restaurant Owner and Tenant of Regency Centers



28 Church Lane  
2nd Floor  
Westport, CT 06880  
203 635 5560  
RegencyCenters.com

VIA: EMAIL

January 14, 2022

Mario Lombardo  
DBA Lombardo's Restaurant  
10 Hamilton Ave.  
Dobbs Ferry, NY 10522

Re: Construction of Pergola

Dear Mario:

Regency Centers has reviewed the pergola design prepared by Palma Pergola dated, January 10, 2022.

The pergola is approved subject to:

1. Tenant is responsible to obtain all permits and approvals from the governing authority.

This review has been made only to confirm compliance with the Landlord's minimum specifications for tenant signage under the terms of the Lease Agreement. The Landlord assumes no responsibility in design, constructability, means, methods or conformance to specific tenant requirements. The Landlord is not responsible for the verification of dimensions or compliance with City regulations and ordinances. Compliance with all comments herein is mandatory, with the understanding that any variance thereof is an acceptance of liability.

Should you have any questions or concerns regarding this matter, please feel free to contact me at (203) 635-5564 or [MichaelMcAndrews@regencycenters.com](mailto:MichaelMcAndrews@regencycenters.com).

Sincerely,

A handwritten signature in blue ink, appearing to read "Michael McAndrews".

Michael McAndrews  
On behalf of Landlord



## VILLAGE OF DOBBS FERRY

Building Department  
112 Main Street, Dobbs Ferry, NY 10522  
Phone: (914) 231-8509 | Fax: (914) 693-3470

Daniel Roemer  
Building Inspector

### Permit Application

Application Number A2022-0226

Date 05/10/2022

Job Location Hamilton Ave NE

Lot # 3.180-156-2

Owner:

Applicant:

#### Building Addition with New Footprint

Application Type: \_\_\_\_\_ Estimated Cost of Construction: **\$75000**

Description of Work: The construction of a 1,149 sq.ft. pergola with retractable roof and walls for exterior dining with seats for 60 patrons. This will be located in the area that is already designated for outdoor eating, but this will enable this space to be used during inclement weather.

#### Form Questions:

Are you utilizing pre-engineered wood or timber?	<b>No</b>
Are you utilizing truss type construction?	<b>No</b>
Construction Type	<b>2C - Unprotected</b>
Is the building sprinkled or will the addition be sprinkled?	<b>Yes</b>
Occupancy Classification	<b>Commercial</b>
Please specify location of Truss	<b>NA- Not using Trusses</b>

#### Application Parcel Owner Contact:

Parcel Owner Email	<b>michaelmcandrews@regencycenters.com</b>
Parcel Owner Phone	<b>203-635-5564</b>

Job Location: 10 Hamilton Street – Rivertowns Square Parcel Id: 3.180-156-2

#### AFFIDAVIT OF APPLICANT

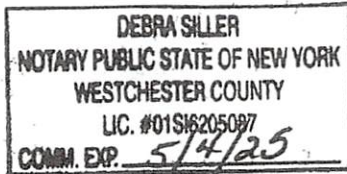
I Padriac Steinschneider being duly sworn, depose and says: That he does business as: Gotham Design Planning & Development Ltd. with offices at: 329 Broadway, Dobbs Ferry, New York 10522 and that he is:

- ☐ The owner of the property described herein.
- ☐ The \_\_\_\_\_ of the New York Corporation \_\_\_\_\_ with offices at: \_\_\_\_\_ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of \_\_\_\_\_ with offices \_\_\_\_\_ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Agent for the Tenant duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Dobbs Ferry Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 5TH day of MAY of 2022

  
Notary Public / Commission of Deeds



  
APPLICANT'S SIGNATURE

#### PROPERTY OWNER'S AUTHORIZATION

I MICHAEL M. SANDREWS was the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

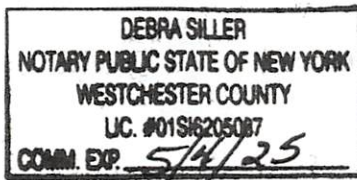
Owner phone number 203-635-5564. Owner email address michaelmcandrews@regencycenters.com

\_\_\_\_\_ I hereby acknowledge that it is my responsibility as the property owner to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 11TH day of MAY of 2022

  
Notary Public / Commission of Deeds

  
PROPERTY OWNER'S SIGNATURE





## **VILLAGE OF DOBBS FERRY - LWRP CONSISTENCY REVIEW**

### **COASTAL ASSESSMENT FORM (CAF)**

**Name of Applicant:** Mario Lombardo, Tenant, Owner of Lombardo's Restaurant  
10 Hamilton Street, Dobbs Ferry, New York 10522

**Mailing Address:** Gotham Design & Community Development Ltd.  
329 Broadway, Dobbs Ferry, New York 10522

**Telephone Number:** (914) 693-5093      **E-mail Address:** arch329@gmail.com

**Tax Address:** 3.180-156-2

**Site Location:** Northeast Corner of Hamilton Street and Danforth Avenue.

**Party or Agency Responsible for Action:** Dobbs Ferry Board of Trustees

**Description of Proposed Action:** Site Plan Review and approval for the use of approximately 1,500 square feet of existing paved surface area currently used for outdoor dining to have a seasonal enclosure.

#### **A. INSTRUCTIONS (Please print or type all answers)**

1. All applicants, including the Village of Dobbs Ferry and other agencies, shall complete this CAF for proposed actions subject to Local Law #10-05 - LWRP Consistency Law. This assessment is intended to supplement other information used by the Dobbs Ferry Planning Board in making a determination of consistency with the Coastal Management Policies set forth in the Dobbs Ferry Local Waterfront Revitalization Program (LWRP).
2. All applicants shall review and complete Sections B and C of this Coastal Assessment Form. If the proposed action meets any of the criteria listed in Section C, Section D must be completed.
3. In Section D, a proposed action should be evaluated as to its potential beneficial and/or adverse impacts upon the coastal area and how it may affect the achievement of the specific policy standards contained in the LWRP and the LWRP Consistency Law.
4. Once evaluated, a proposed action may need to be analyzed in more detail and, if necessary, modified prior to making a determination that it is consistent with the LWRP policy standards. If an action cannot be certified as consistent with the LWRP policy standards, it shall not be undertaken.
5. Actions, which have been determined by the Land Use Officer to not have require the completion of Section D and which have been determined as not having any impacts on the coastal area, are not required to be reviewed by the Planning Board for determination of consistency with the Coastal Management Policies.

**B. DESCRIPTION OF SITE AND PROPOSED ACTION****1. Type of Action:**

(a) ~~Directly undertaken, such as capital construction, planning activity, agency regulation, land transaction: N/A.~~

(b) ~~Financial assistance, such as grant, loan, subsidy: N/A.~~

(c) Ministerial, such as permit, approval, license, certification:  
Site Plan Review and Building Permit.

**2. Describe Nature and Extent of Action:**

Construction of a pergola with retractable glazed roof and walls to provide an outdoor dining area of approximately 1,500 square feet and a capacity of 60 patrons to allow for seasonal use in inclement weather. This is on an existing paved area that is already used for outdoor dining.

**C. COASTAL ASSESSMENT CRITERIA**

NO 1. The proposed action has direct contact with coastal waters, i.e. the Hudson River and or its tributaries, Wickers Creek, and/or the Saw Mill River.

NO 2. The proposed action involves natural features such as tree cover, hillsides, steep slopes, ridgelines, and wetlands that either effect or are effected by coastal waters.

NO 3. The proposed action demonstrates a relationship to coastal waters. The relationship may be recreational, cultural, historic, and/or business.

NO 4. The proposed action has a direct visual relationship with coastal waters and their waterfronts.

NO 5. The proposed action utilizes coastal waters, either directly or indirectly.

**If the proposed action meets any of the above criteria, Section D. must be completed and attached hereto.**

**Preparer's Name:** Padriac Steinschneider **Telephone:** (914) 693-5093

**Title:** Agent for Property Owner **Agency:** N/A

**Date:** May 5, 2022

**If assistance or further information is needed to compete this form, please contact the Village of Dobbs Ferry Land Use Officer at (914) 231-8512 or (914) 231-8513.**

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**Determination of Consistency:** Yes \_\_\_\_\_ No \_\_\_\_\_

**Dobbs Ferry Land Use Officer:** \_\_\_\_\_

# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

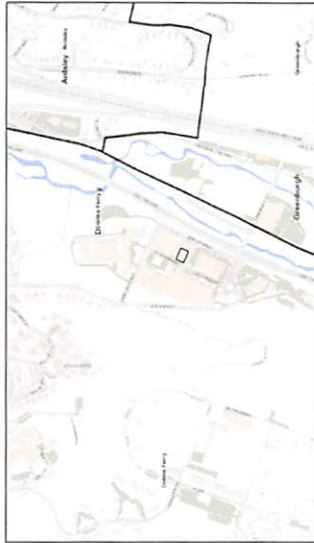
<b>Part 1 – Project and Sponsor Information</b>			
Name of Action or Project: Lombardo's Pergola			
Project Location (describe, and attach a location map): 10 Hamilton Street, Rivertowns Square, Dobbs Ferry, New York			
Brief Description of Proposed Action: The proposed action is to construct a three seasons pergola with approximately 1,149 square feet to provide 60 seats for patrons on the existing terrace area that is currently used for exterior dining. The structure has a retractable glass roof and retractable glass wall panels that can be opened to maintain this as exterior dining. The roof and wall panels can then be closed to maintain the viable use of the structure during inclement weather. There is no increase in impervious surface area, increase in stormwater runoff, loss of pervious area, loss of trees and greenery, or other potential impact on the environment resulting from the proposed project, other than will result from an increased patronage of the restaurant.			
Name of Applicant or Sponsor: Mario Lombardo		Telephone: 516-887-6678 E-Mail: mlomba1125@aol.com	
Address: 10 Hamilton Street			
City/PO: Dobbs Ferry		State: New York	Zip Code: 10522
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Dobbs Ferry Board of Trustees, Planning		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?		1.542 acres	
b. Total acreage to be physically disturbed?		0.026 acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		8.847 acres	
4. Check all land uses that occur on, are adjoining or near the proposed action: <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban) <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify): <input type="checkbox"/> Parkland			

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

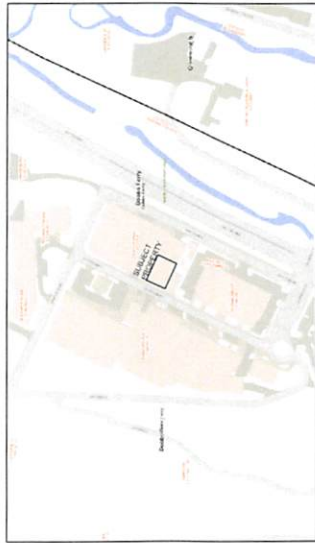


14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Urban <input type="checkbox"/> Suburban		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes,	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?	<input type="checkbox"/>	<input type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe:	<input type="checkbox"/>	<input type="checkbox"/>
<hr/> <hr/>		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<hr/> <hr/>		
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe:	NO	YES
	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<hr/> <hr/>		
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe:	NO	YES
	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Monitor wells were installed to confirm prior contamination of site areas affected by the previous use of the property as the Akzo Chemical Company's Headquarters. The site was deemed clean by the NYSDEC.		
<b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b>		
Applicant/sponsor/name: <u>Padriac Steinschneider, As Agent for Lombardo's Restaurant</u> Date: <u>May 5 2022</u>		
Signature: _____ Title: <u>Agent for the Tenant and Landlord</u>		

FOR PRELIMINARY REVIEW,  
NOT FOR CONSTRUCTION.



**SITE LOCATION MAP**  
NOT TO SCALE



**N**  **VICINITY MAP**  
NOT TO SCALE



**AERIAL LOCATION MAP**  
NOT TO SCALE

## PROJECT DESCRIPTION

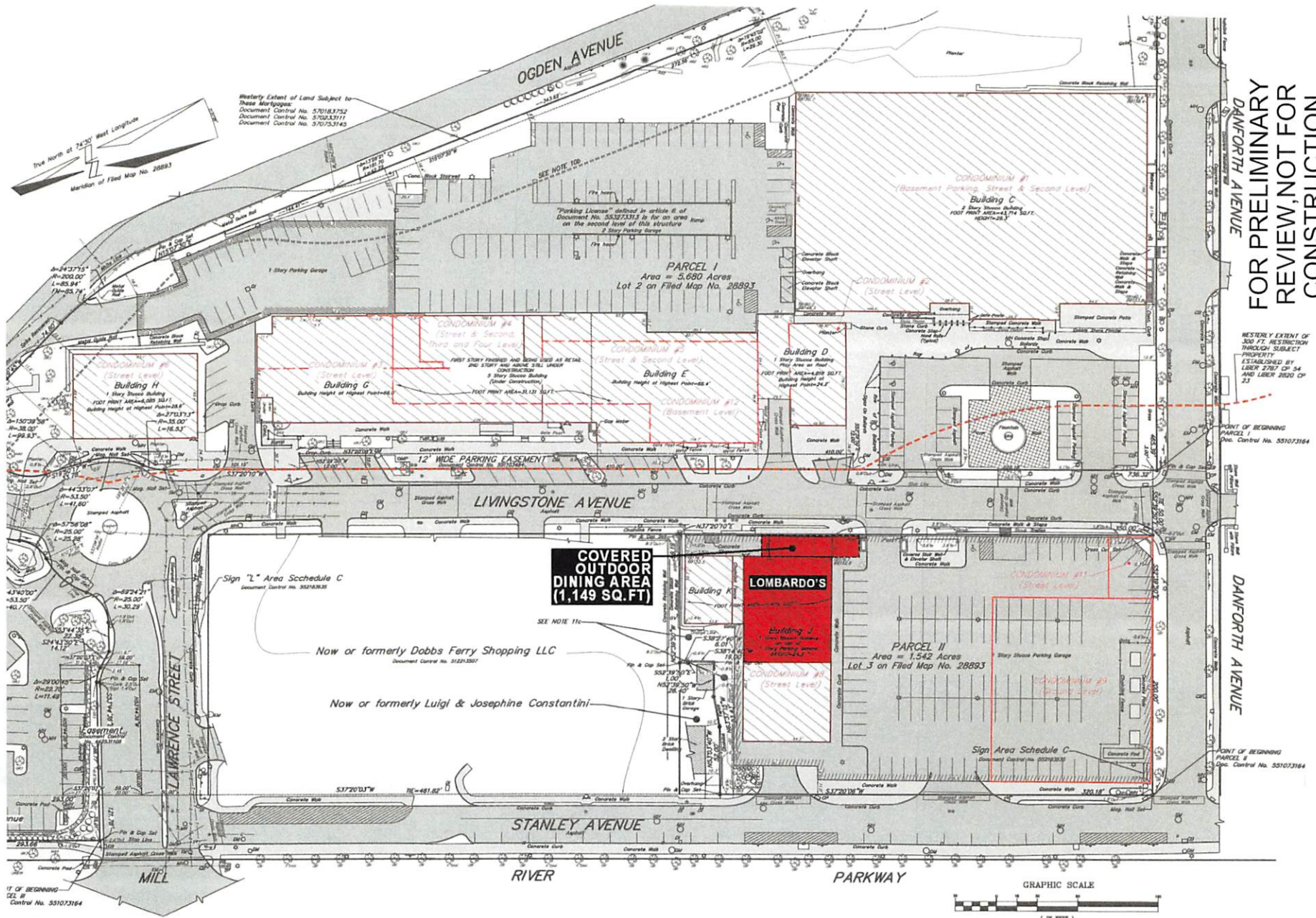
THIS PROJECT CONSISTS OF THE ADDITION OF A QUASI-ENCLOSED OUTDOOR SEATING AREA CREATED AS A PERGOLA. THE PERGOLA WILL ACCOMMODATE 60 SEATS, INCREASING THE OCCUPANCY FROM EXISTING 135 TO 190. THE PERGOLA STRUCTURE WILL HAVE LOUVER PANELS ON THE ROOF THAT RETRACT IN GOOD WEATHER, AND SIMILARLY RETRACTABLE WINDOWS. THERE WILL BE TWO MEANS OF EGRESS FROM THE ENCLOSURE.

ZONING		CIPDISTRICT		EXISTING		PROPOSED	
PARCEL #		REQUIRED/ ALLOWED					
MINIMUM LOT AREA		1.542 ACRES 1.542 ACRES 0.041 ACRES		1.542 ACRES			
MAX. NUMBER OF STORES		5		2		2	
MAXIMUM BLDG COVERAGE		30%		17.1%		18.8%	
MAX. BLDG HEIGHT		65 FT		24.2 FT			
MINIMUM FRONT YARD		0 - 10 FT		17.4 FT		+ 1.5 FT	
MINIMUM SIDE YARD 1		10 FT		+ 23.9 FT		+ 21.6 FT	
MINIMUM SIDE YARD 2		10 FT		+ 2.3 FT		+ 5.5 FT	
MINIMUM REAR YARD		20 FT		+ 4.1 FT		+ 1.60 FT	

[illegible][illegible]

CLIMATE ZONE	PREVALATION U FACTOR	INSULATION R FACTOR	GLAZED TRANSMISSION R FACTOR	INSULATION AND FINESTRIATION REQUIREMENTS BY COMPONENT					
				WOOD ROOFING R VALUE	CEILING R VALUE	WALL R VALUE	FLOOR R VALUE	SLAB R VALUE	CEILING SPACE R VALUE
4A	0.15	49	20 OR 13 + 5	8 + 13	19	19 + 13	19	19	17 + 13
4B	0.25	49	20 OR 13 + 5	8 + 13	19	19 + 13	19	19	17 + 13
4C	0.35	49	20 OR 13 + 5	8 + 13	19	19 + 13	19	19	17 + 13





FOR PRELIMINARY  
REVIEW, NOT FOR  
CONSTRUCTION.



PROJECT TITLE  
**LOMBARDO'S RESTAURANT**  
10 HAMILTON ST.  
DOBBS FERRY, N.Y. 10522  
PROJECT NO. 2203

GO THAM  
DESIGN  
AND COMMUNITY  
DEVELOPMENT LTD  
329 Broadway  
Dobbs Ferry, N.Y. 10522  
Phone: (914) 693-5093  
Fax: (914) 693-5390  
email: arch329@gmail.com

ISSUE / REVISIONS  
SHEET TITLE  
**PROPOSED  
SITE PLAN**  
DATE  
4/7/2022  
DRAWN BY  
654  
SCALE  
AS NOTED  
CHECKED BY

A-2



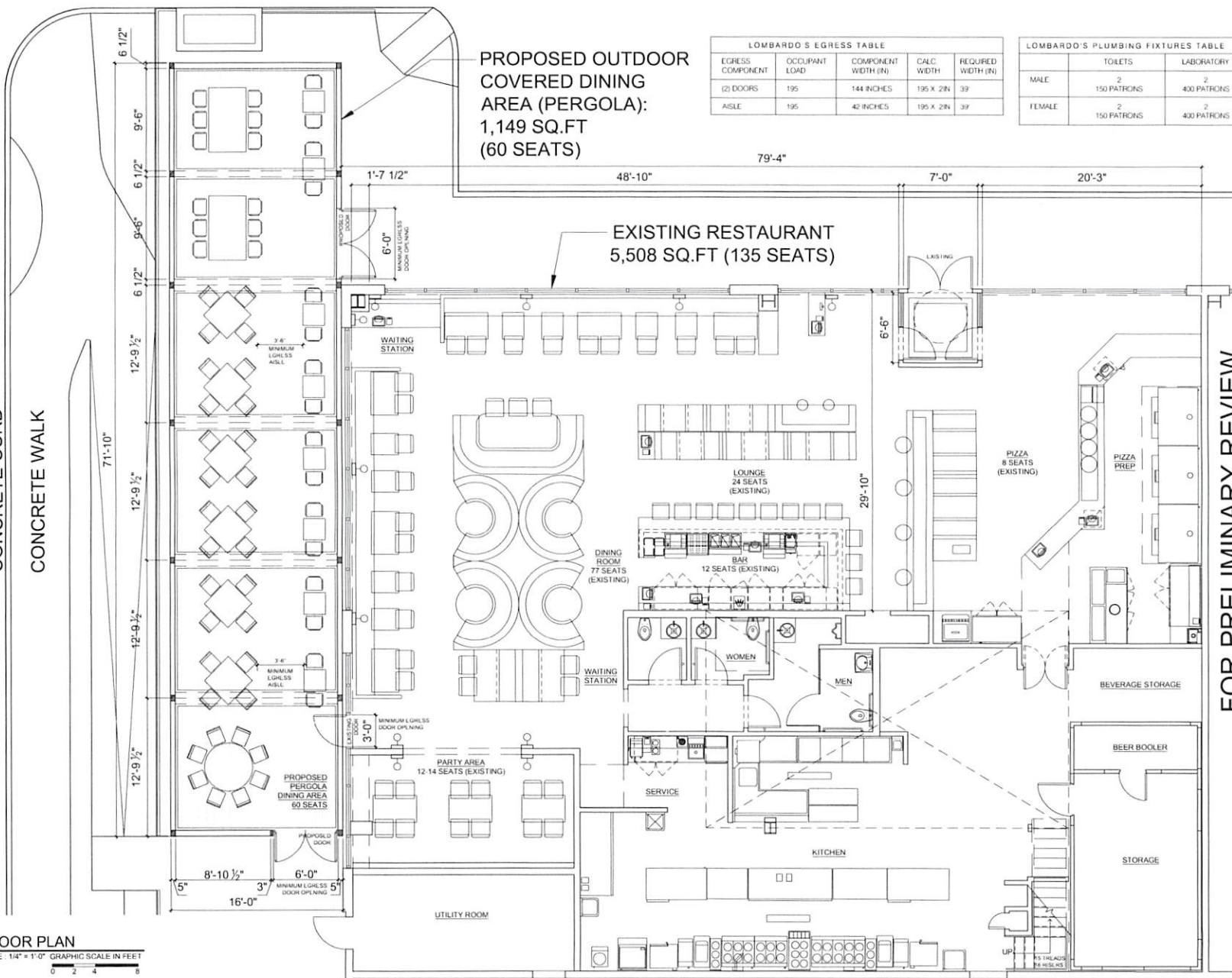
HAMILTON ST.

CONCRETE CURB

CONCRETE WALK



FLOOR PLAN  
SCALE: 1/4" = 1'-0" GRAPHIC SCALE IN FEET



PROPOSED OUTDOOR  
COVERED DINING  
AREA (PERGOLA):  
1,149 SQ.FT  
(60 SEATS)

EXISTING RESTAURANT  
5,508 SQ.FT (135 SEATS)

LOMBARDO'S EGRESS TABLE				
EGRESS COMPONENT	OCCUPANT LOAD	COMPONENT WIDTH (IN)	CALC. WIDTH	REQUIRED WIDTH (IN)
(2) DOORS	195	144 INCHES	195 X 2IN	39"
aisle	195	42 INCHES	195 X 2IN	39"

LOMBARDO'S PLUMBING FIXTURES TABLE		
	TOILETS	LABORATORY
MALE	2 150 PATRONS	2 400 PATRONS
FEMALE	2 150 PATRONS	2 400 PATRONS

FOR PRELIMINARY REVIEW,  
NOT FOR CONSTRUCTION.



PROFESSIONAL ENGINEER  
STATE OF NEW YORK  
CITY OF NEW YORK  
No. 10522  
No. 10522  
No. 10522  
No. 10522



PROJECT TITLE  
**LOMBARDO'S  
RESTAURANT**  
10 HAMILTON ST.  
DOBBS FERRY, NY, 10522  
PROJECT NO. 2203

**GOTHAM  
DESIGN**  
AND COMMUNITY  
DEVELOPMENT LTD

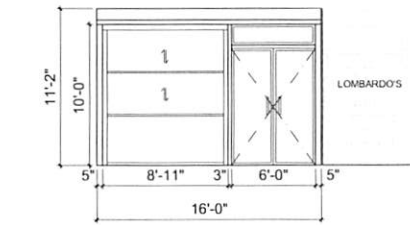
329 Broadway  
Dobbs Ferry, N.Y. 10522  
Phone: (914) 693-5093  
Fax: (914) 693-5390  
email: arch329@gmail.com

ISSUED / REVISIONS

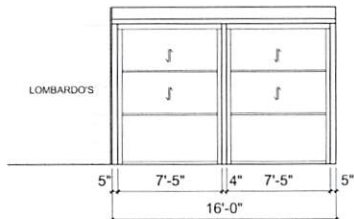
SHEET TITLE  
**PROPOSED  
FLOOR PLAN**  
DATE  
4/7/2022  
SCALE  
AS NOTED  
DRAWN BY  
SSJ  
CHECKED BY

**A-2.1**

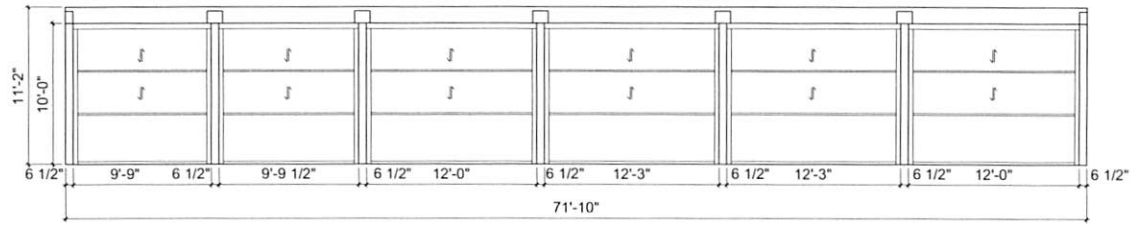




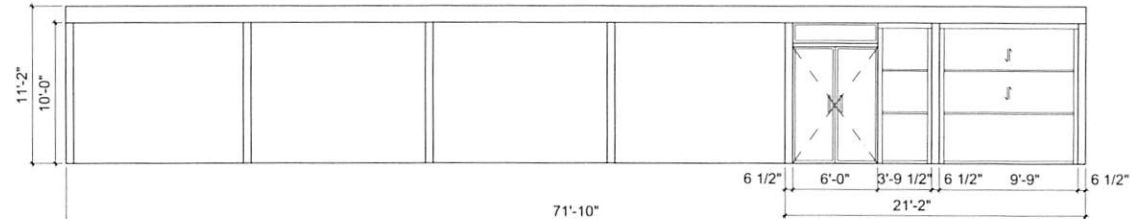
**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"  
GRAPHIC SCALE IN FEET  
0 1 2 4 8



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"  
GRAPHIC SCALE IN FEET  
0 1 2 4 8

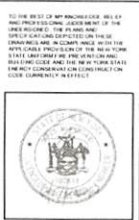


**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"  
GRAPHIC SCALE IN FEET  
0 1 2 4 8



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"  
GRAPHIC SCALE IN FEET  
0 1 2 4 8

**FOR PRELIMINARY REVIEW,  
NOT FOR CONSTRUCTION.**



NOTED: THE DESIGN OF THE RESTAURANT IS SUBJECT TO THE REVIEW AND APPROVAL OF THE STATE ARCHITECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF THE RESTAURANT'S INTERIOR OR FOR THE DESIGN OF THE RESTAURANT'S STRUCTURE.



**LOMBARDO'S RESTAURANT**  
10 HAMILTON ST.  
DOBS FERRY, N.Y. 10522  
PROJECT NO. 2203

**GOTHAM DESIGN**  
AND COMMUNITY DEVELOPMENT LTD.

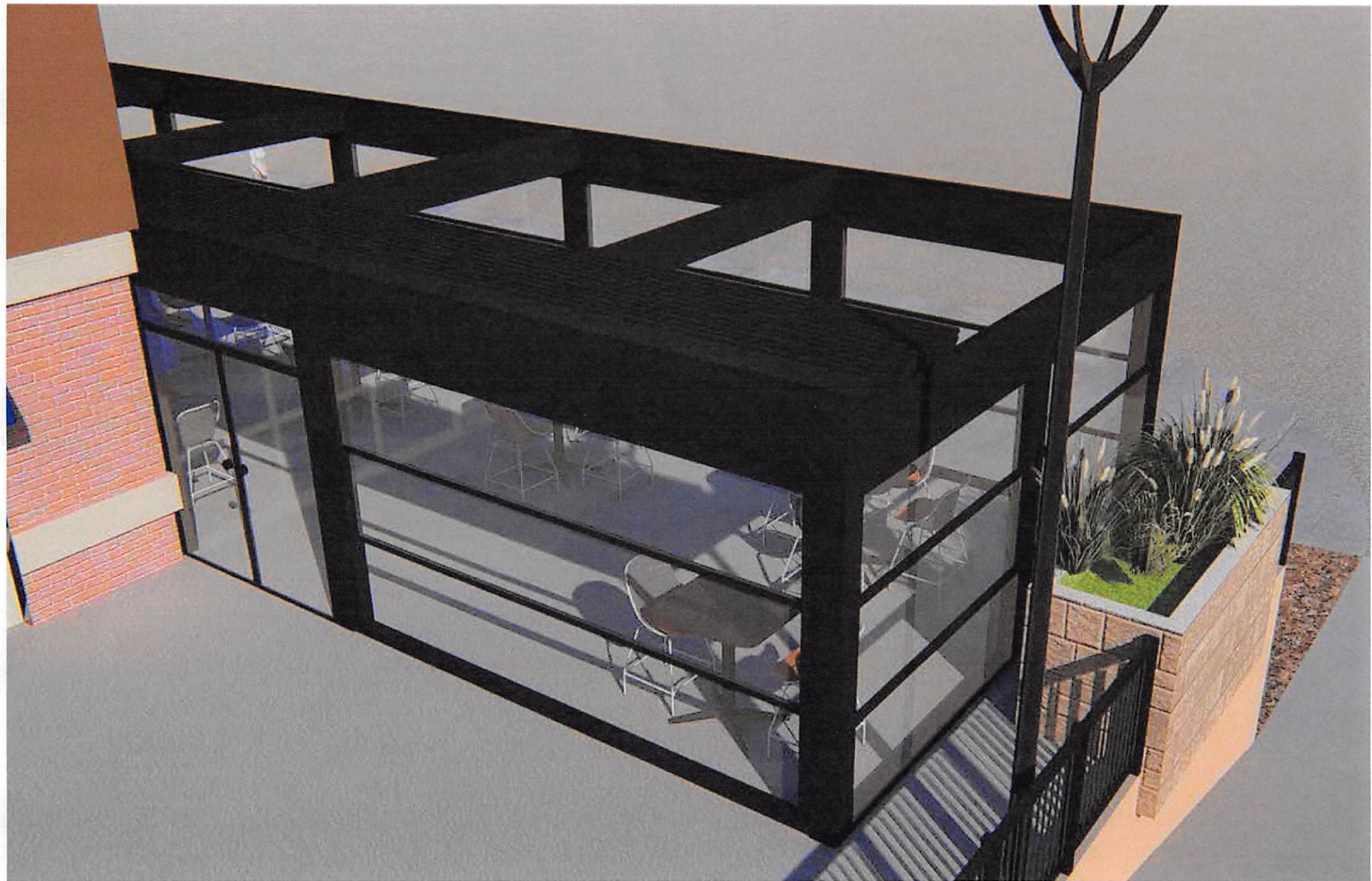
329 Broadway  
Dobbs Ferry, N.Y. 10522  
Phone: (914) 693-5093  
Fax: (914) 693-5390  
email: arch329@gmail.com

ISSUED DIVISIONS

SHEET TITLE			
PROPOSED ELEVATIONS AND RENDERINGS			
DATE	4/7/2022	DRAWN BY	SSJ
SCALE	AS NOTED	CHECKED BY	

**A-3.1**

































**PROPERTY DESCRIPTION**  
This map shows the property of SABER DOBBS FERRY LLC, located in the Village of Dobbs Ferry, Town of Greenburgh, Westchester County, New York. The property is situated along the Hudson River and is bounded by Ogden Avenue to the north, Livingstone Avenue to the east, and Stanley Avenue to the south. The property is divided into three parcels: Parcel I (5.680 Acres), Parcel II (1.542 Acres), and Parcel III (1.625 Acres). The total area is 8.847 Acres.

**LEGEND**  
The following symbols are used on this map:  
- Solid line: Property boundary  
- Dashed line: Easement  
- Dotted line: Right-of-way  
- Shaded area: Water body  
- Hatched area: Wetland  
- Cross-hatched area: Flood hazard zone  
- Arrow: Direction of flow  
- Circle with dot: Well  
- Square with dot: Manhole  
- Triangle: Survey monument  
- Circle: Survey point  
- Line with cross-ticks: Easement for utility

**PROPERTY DATA**  
Site Map Designation: 1180-155-1, 1180-155-2, 1180-155-3  
Zoning District: CP  
Total Area: 8.847 Acres  
Parcel I: 5.680 Acres  
Parcel II: 1.542 Acres  
Parcel III: 1.625 Acres

**TREE LEGEND**  
The following symbols are used on this map:  
- Solid line: Tree line  
- Dashed line: Tree line  
- Dotted line: Tree line  
- Shaded area: Tree canopy  
- Hatched area: Tree canopy  
- Cross-hatched area: Tree canopy  
- Arrow: Direction of flow  
- Circle with dot: Well  
- Square with dot: Manhole  
- Triangle: Survey monument  
- Circle: Survey point  
- Line with cross-ticks: Easement for utility

**KEY**  
The following symbols are used on this map:  
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- Shaded area: Water body  
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- Circle with dot: Well  
- Square with dot: Manhole  
- Triangle: Survey monument  
- Circle: Survey point  
- Line with cross-ticks: Easement for utility

**UNDERGROUND UTILITIES**  
The following symbols are used on this map:  
- Solid line: Utility line  
- Dashed line: Utility line  
- Dotted line: Utility line  
- Shaded area: Utility area  
- Hatched area: Utility area  
- Cross-hatched area: Utility area  
- Arrow: Direction of flow  
- Circle with dot: Well  
- Square with dot: Manhole  
- Triangle: Survey monument  
- Circle: Survey point  
- Line with cross-ticks: Easement for utility

**NOTES**  
1. This map was prepared by the undersigned on or about the date hereon.  
2. The boundaries shown on this map are based on the best available information.  
3. The area shown on this map is subject to change without notice.  
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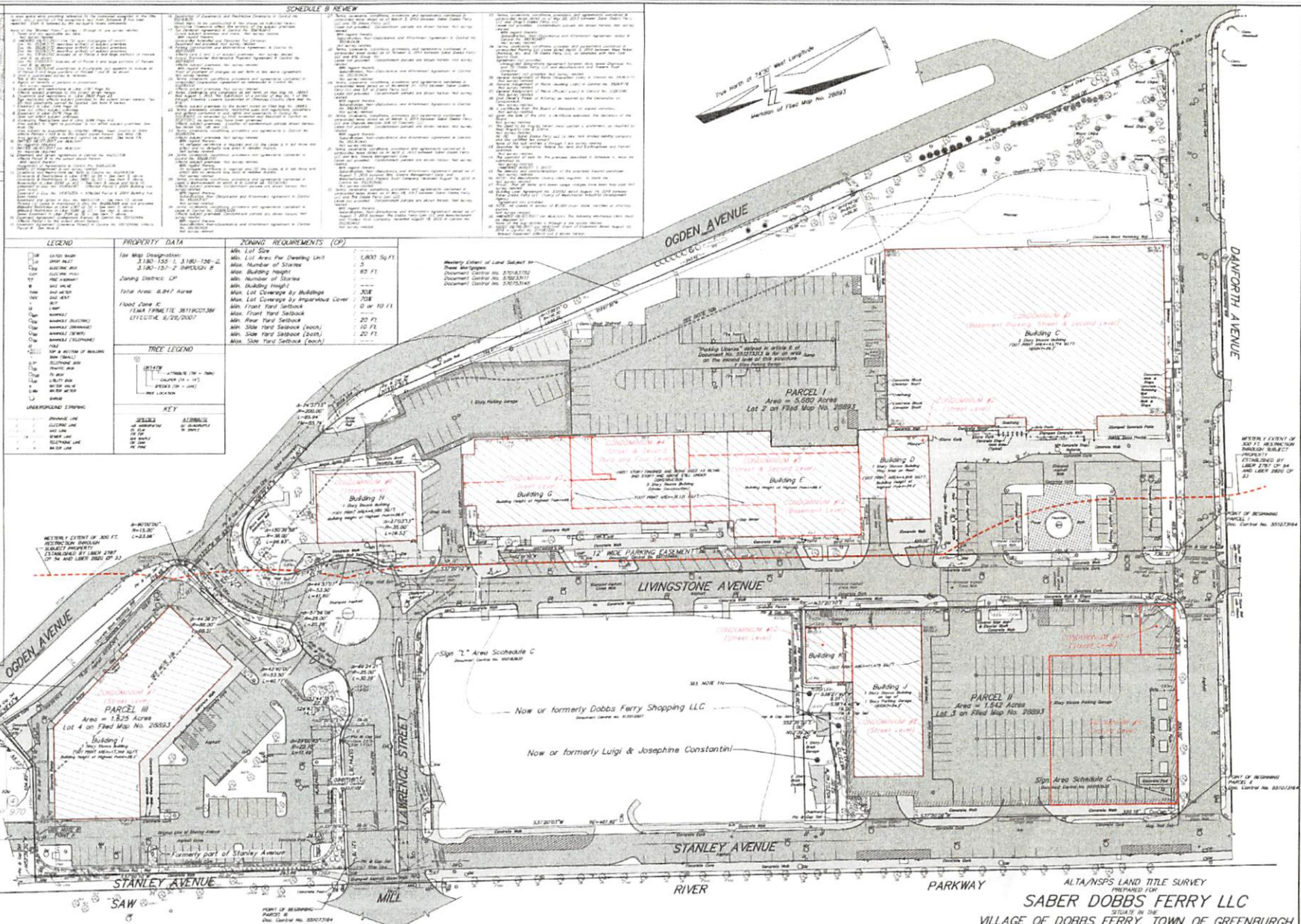
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**PARCEL I = 5.680 Acres**  
**PARCEL II = 1.542 Acres**  
**PARCEL III = 1.625 Acres**  
**Total Area = 8.847 Acres**  
which equals 0.172 acres in Planning District



BADEY & WATSON  
1000 West 10th Street  
New York, NY 10011  
212-691-1000  
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1000 West 10th Street  
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212-691-1000  
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**PRINTED**

DATE: 12/15/2017  
BY: J. WATSON  
FOR: SABER DOBBS FERRY LLC  
LICENSE NO. 36489