



VILLAGE OF DOBBS FERRY BOARD OF TRUSTEES AGENDA

MEETING DATE: JUNE 28, 2022

AGENDA ITEM SECTION: PRESENTATIONS

AGENDA ITEM NO. : 2

DEPARTMENT: BUILDING DEPARTMENT

AGENDA ITEM:

DISCUSSION: RIVERTOWNS SQUARE SITE PLAN WAIVER REQUEST

RESOLUTION: RIVERTOWNS SQUARE SITE PLAN WAIVER REQUEST

ITEM BACKUP DOCUMENTATION:

1. DRAFT RESOLUTION
2. MEMORANDUM DATED JUNE 23, 2022 FROM MR. DAN ROEMER/BUILDING INSPECTOR TO MAYOR ROSSILLO AND THE BOARD OF TRUSTEES
3. RETAINING WALL RECONSTRUCTION DRAWINGS
4. RETAINING WALL STABILIZATION DRAWINGS
5. PERMIT APPLICATION RETAINING WALL
6. LETTER DATED JANUARY 14, 2022 FROM MR. MICHAEL McANDREWS TO MR. MARIO LOMBARDO
7. PERMIT APPLICATION – CINEMA WALL
8. PERMIT APPLICATION – BUDDHA WALL



VILLAGE OF DOBBS FERRY
112 Main Street
Dobbs Ferry, New York 10522
TEL: (914) 231-8500 • FAX: (914) 693-3470

RESOLUTION APPROVING WAIVER OF SITE PLAN REVIEW FOR 1 HAMILTON STREET AS RECOMMENDED BY THE BUILDING INSPECTOR

WHEREAS, the Board of Trustees of the Village of Dobbs Ferry has reviewed a recommendation by the Building Inspector to waive the requirements for site plan review pursuant to authority granted to the Board in Zoning Code Section 300-52(A)(2) for certain improvements at 1 Hamilton Street ("Property") consisting of repairs to two existing retaining walls at Rivertown Square; and

WHEREAS, the Building Inspector has provided sufficient evidence to support the need to proceed in an expedited manner and the Building Department has the ability to review the matter internally with the use of escrowed funds to be provided by the Property owner.

NOW THEREFORE BE IT RESOLVED, that, the Board of Trustees hereby waives the requirement for a site plan review pursuant to Dobbs Ferry Zoning Code Section 300-52(A)(2) for improvements on the property at 1 Hamilton Street based on the unique facts which support a need for the Building Inspector to proceed as recommended; and

BE IT FURTHER RESOLVED that, such waiver is based on the facts of this situation, does not become precedent in any other matter and shall not negatively affect the Village's ability to otherwise enforce applicable law, rules or regulations at the Property.

Motion By: _____ Seconded By: _____

Vote:

I hereby attest that the above Resolution was approved by the Board of Trustees at its _____, 2022 meeting, and that I have been authorized to sign this Resolution by decision of the Board of Trustees.

Elizabeth A. Dreaper
Village Clerk

Date

Memo, Agenda Item

To: Mayor Rossillo and Board of Trustees
From: Dan Roemer
CC: Melissa Ferraro
Date: 6/23/2022
Re: 1 Hamilton St. – Waiver of Site Plan Approval

The Building Department is in receipt of two applications for the repair of two failing retaining walls located at 1 Hamilton Street, within Rivertowns Square, which is in the Chauncey Park zone. One of these walls is located behind LOOK Cinemas and will consist of restacking of blocks and repairing the drainage to stabilize the wall. The other wall is located behind Buddha and will require repair to brace and stabilize the existing wall.

As the proposed work is located within the Chauncey Park zone and involves the movement of 300 cubic feet of soil, the applications would require site plan review and approval by the Board of Trustees. The proposed work will be a simple repair to the existing retaining walls and will be reviewed by the Village's consulting engineer for structural integrity. As Building Official, I am requesting that this item be placed on the Board of Trustees June 28 meeting agenda to review and waive site plan approval in an effort to expedite the applications so that the repairs can begin.

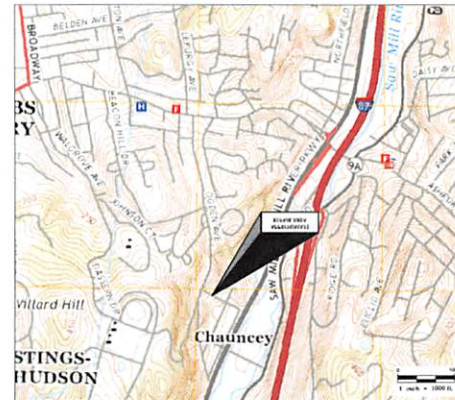
RETAINING WALL RECONSTRUCTION

FOR

RIVERTOWNS SQUARE - IPIC WALL
47-55 HAMILTON STREET
DOBBS FERRY, WESTCHESTER COUNTY, NEW YORK



AERIAL SITE MAP



TOPOGRAPHIC SITE MAP

SHEET INDEX	
NUMBER	DESCRIPTION
1	COVER SHEET
2	PLAN AND ELEVATION
3	DETAILS
4	NOTES



REV	DATE	COMMENTS	BY

FOR NO.	DATE	BY
DRAWN BY	DATE	BY
CHECKED BY	DATE	BY
SCALE	DATE	BY

PROJECT:	RETAINING WALL RECONSTRUCTION
CLIENT:	RIVERTOWNS SQUARE - IPIC WALL
LOCATION:	47-55 HAMILTON STREET
ADDRESS:	DOBBS FERRY, WESTCHESTER COUNTY, NEW YORK
OWNER:	REGENCY CENTERS
ADDRESS:	28 CHURCH LANE
ADDRESS:	SUITE 200
ADDRESS:	WESTPORT, CONNECTICUT 06890

THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN AND SPECIFICATIONS SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF WHITESTONE ASSOCIATES, INC.



RYAN R. ROY, P.E.
 PROFESSIONAL ENGINEER
 NEW YORK LICENSE NO. 081880-1

DATE:	DATE
COVER	COVER
SHEET NUMBER	1 OF 4

REVISIONS: 0



FOR NO.	GAZ/202/431/000
DRAWN BY	BE
CHECKED BY	RRR
DATE	20-08-01
SCALE	AS SHOWN

PROJECT
RETAINING WALL
RECONSTRUCTION
RIVERTOWN'S SQUARE - 17TH WALL
47-53 HAMILTON STREET
DOBBS FERRY, WESTCHESTER
COUNTY, NEW YORK

RÉGENCY CENTERS
 28 CHURCH LANE
 SUITE 200
 WESTPORT, CONNECTICUT
 06880

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RYAN R. ROY, P.E.
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 081380-1

DETAILS

3 OF 4

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GENERAL NOTES AND DESIGN PARAMETERS

PLANS ARE INTENDED FOR THE RECONSTRUCTION OF THE EXISTING IPIC LOCK-BLOCK™ RETAINING WALL WHICH HAS EXPERIENCED SETTLEMENT AND ONGOING LATERAL DISPLACEMENT. EXISTING BLOCKS THAT ARE IN GOOD CONDITION MAY BE REUSED FOR WALL CONSTRUCTION. ADDITIONAL BLOCKS WILL BE REQUIRED TO COMPLETE THE DESIGN.

1. WHITESTONE TO APPROVE ALL BLOCKS FOR REUSE.
2. CONTRACTOR TO WALK SITE PRIOR TO BIDDING.
3. CONTRACTOR TO BE RESPONSIBLE FOR MEASUREMENTS, BLOCK COUNT, AND GENERAL QUANTITIES OF MATERIALS REQUIRED TO COMPLETE THE DESIGN.
4. CONTRACTOR TO BE RESPONSIBLE FOR DISPOSAL OF ALL EXCESS, DAMAGED, OR UNSUITABLE BLOCK, SOIL, OR OTHER CONSTRUCTION MATERIALS GENERATED DURING CONSTRUCTION.

SECTION 1: MATERIALS

1.1 DEFINITIONS

- A. SEGMENTAL CONCRETE BLOCK UNITS - LOCK-BLOCK™, OR APPROVED EQUIVALENT, BLOCK UNITS MADE FROM PORTLAND CEMENT, WATER, AND MINERAL AGGREGATES.
- B. REINFORCED BACKFILL - SOIL BACKFILL REQUIRED WITHIN AREAS REINFORCED WITH GEOGRID.
- C. FREE DRAINING BACKFILL - CRUSHED STONE DRAINAGE COLUMN IMMEDIATELY BEHIND BLOCK UNITS.
- D. IMPERMEABLE BACKFILL - A LOW PERMEABLE SOIL INTENDED TO HYDRAULICALLY CUT OFF THE FREE DRAINING BACKFILL FROM THE WALL LEVELING PAD.
- E. IMPERVIOUS TOPSOIL - A LOW PERMEABLE TOPSOIL INTENDED TO FORM THE SWALE AT THE TOP OF THE WALL.
- F. RIPRAP - A LAYER OF STONE INTENDED TO SLOW AND DIFFUSE THE FLOW OF WATER.
- G. GEOTEXTILE - A SPUN-BOUND NON-WOVEN ENGINEERING FABRIC INTENDED WITH HIGH FILTRATION AND PERMEABILITY CHARACTERISTICS, USED AS A SEPARATION FABRIC.
- H. GEOGRID - A GEOSYNTHETIC MATERIAL USED TO REINFORCE SOILS.
- I. WALL DRAIN - A PERFORATED PIPE PROVIDED FOR INTERNAL DRAINAGE BEHIND THE RETAINING WALL.
- J. DRAIN PIPE - A SOLID PIPE PROVIDED TO CONNECT THE YARD DRAIN TO THE EXISTING ROOF DRAIN LEADER LINE.
- K. YARD DRAIN - SURFACE WATER COLLECTOR INTENDED TO TRANSPORT SURFACE WATER TO DRAIN LINES.
- L. GEOTECHNICAL ENGINEER - WHITESTONE ASSOCIATES, INC.

1.2 GEOTEXTILES

- A. NONWOVEN GEOTEXTILE SEPARATION FABRIC SHALL BE MIRAFI 140N OR EQUIVALENT.
- B. WHEN PLACING ADJACENT GEOTEXTILES, GEOTEXTILES SHALL HAVE A MINIMUM 12-INCH LAP.

1.3 GEOGRID

- A. GEOGRID SHALL BE MIRAFI MIRAGRIDS 3XT, OR APPROVED EQUIVALENT.

1.4 SEGMENTAL CONCRETE BLOCK UNITS

- A. THE SEGMENTAL CONCRETE BLOCK UNITS SHALL BE LOCK-BLOCK™, OR APPROVED EQUIVALENT, BLOCK UNITS MANUFACTURED BY AN AUTHORIZED REPRESENTATIVE AND PRODUCED IN ACCORDANCE WITH APPLICABLE STANDARDS.
- B. UNITS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI AND AN ENTRAINED AIR CONTENT OF 6% ±1.5%.
- C. THE UNITS SHALL BE SOUND AND FREE OF CRACKS, CHIPS, OR OTHER DEFECTS THAT MAY PREVENT THE CONTRACTOR FROM PROPERLY INSTALLING THE UNITS OR REDUCE THE LONG TERM STRENGTH OF THE WALL STRUCTURE. UNITS HAVING CONCRETE COLD JOINTS WILL NOT BE ACCEPTABLE FOR USE.

1.5 WALL BACKFILL

- A. ALL BACKFILL MATERIALS, WHETHER ON-SITE OR IMPORTED, SHALL BE APPROVED BY WHITESTONE PRIOR TO CONSTRUCTION.
- B. SAMPLES OF ALL PROPOSED BACKFILL MATERIALS, WHETHER ON-SITE OR IMPORTED, SHALL BE SUBMITTED TO WHITESTONE FOR APPROVAL PRIOR TO CONSTRUCTION.

1.6 WALL DRAIN

- A. WALL DRAIN SHALL BE 4-INCH DIAMETER SCHEDULE 40 PERFORATED PVC BACKFILLED WITH FREE DRAINING BACKFILL WRAPPED IN GEOTEXTILE FABRIC.
- B. WALL DRAIN SHALL BE PITCHED TO PROMOTE POSITIVE FLOW TO DRAINAGE STRUCTURES.

1.7 DRAIN PIPE

- A. DRAIN LINE SHALL BE A 4-INCH DIAMETER SCHEDULE 40 SOLID PVC.
- B. DRAIN LINE SHALL BE PITCHED TO PROMOTE POSITIVE FLOW TO THE ROOF DRAIN LEADER LINE.

1.8 FREE DRAINING BACKFILL

- A. FREE DRAINING BACKFILL SHALL CONSIST OF CLEAN, UNIFORM, MINUS 3/4-INCH CRUSHED STONE.

1.9 IMPERMEABLE BACKFILL

- A. IMPERMEABLE BACKFILL SHALL CONSIST OF SOIL BACKFILL WITH A MAXIMUM PARTICLE SIZE OF ONE INCH WITH AT LEAST 30 PERCENT PASSING THE NO. 200 SIEVE.

1.10 IMPERVIOUS TOPSOIL

- A. TOPSOIL MEETING THE SPECIFICATIONS OF IMPERMEABLE BACKFILL (SEE SECTION 1.8)

1.11 REINFORCED BACKFILL

- A. WELL-GRADED SOIL BACKFILL WITH A MAXIMUM PARTICLE SIZE OF 2-INCHES AND NO MORE THAN 10 PERCENT BY WEIGHT PASSING THE NO. 200 SIEVE - OR - MINUS 3/8-INCH CRUSHED STONE.

1.12 RIPRAP

- A. NOMINAL SIZE 3-INCH TO 6-INCH DIAMETER STONE

1.13 YARD DRAIN

- A. DURABLE, RESILIENT TO FREEZE THAW ACTION, AND WITH A MINIMUM CAPACITY OF 25 GALLONS. YARD DRAIN TO BE APPROVED BY WHITESTONE.

SECTION 2: EXECUTION

2.1 CONSTRUCTION

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATIONS AND WORK SHALL BE CONDUCTED IN ACCORDANCE WITH OSHA STANDARDS.
- B. EXCAVATIONS SHALL BE MADE IN A MANNER THAT WILL NOT DISTURB EXISTING WALLS, THE ADJACENT ROADWAY, OR BUILDINGS. CONTRACTOR SHALL PROVIDE PROTECTION AND RECONSTRUCT THE WALL IN SUCH A MANNER TO MAINTAIN THE INTEGRITY OF EXISTING IMPROVEMENTS DURING CONSTRUCTION.
- C. IN-SITU MATERIALS ARE NOT EXPECTED TO MEET THE GRADATION FOR THE REINFORCED BACKFILL. AS SUCH, A LARGE QUANTITY OF EXCAVATED MATERIAL WILL REQUIRE OFFSITE DISPOSAL. LIMITED QUANTITIES OF SOIL PLANNED FOR REUSE SHALL BE STOCKPILED ON-SITE AT LOCATIONS DESIGNATED BY THE OWNER AND IN LOCATIONS THAT WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK. STOCKPILE MUST BE AT LEAST TWO TIMES THE WALL HEIGHT AWAY FROM THE FACE OF THE WALL. DUE TO SITE CONSTRAINTS, IT MAY BE NECESSARY TO TEMPORARILY REMOVE SOIL FROM THE SITE AND RETURN DURING BACKFILLING OPERATIONS.
- D. BEDROCK MAY BE ENCOUNTERED DURING EXCAVATION FOR GEOGRID. WHITESTONE TO DETERMINE APPROPRIATE METHOD TO ATTACH GEOGRID TO BEDROCK, IF ENCOUNTERED.

2.2 SUBGRADE PREPARATION

- A. SUBGRADE SHALL BE EXCAVATED AS REQUIRED FOR PLACEMENT OF THE BLOCKS AND GEOGRID.
- B. SUBGRADE SHALL BE REVIEWED BY WHITESTONE TO CONFIRM THAT THE ACTUAL FOUNDATION CONDITIONS MEET OR EXCEED ASSUMED DESIGN ASSUMPTIONS.

- C. PROOF-COMPACTION OF SOIL SUBGRADE SHALL BE COMPLETED PRIOR TO PLACEMENT OF WALL BACKFILL.

2.3 WALL DRAIN CONSTRUCTION

- A. THE WALL DRAIN SHALL BE PLACED WITHIN THE FREE DRAINING BACKFILL AT THE INSIDE TOE OF THE WALL (AS SHOWN ON DETAIL ON SHEET 3).

2.6 FREE DRAINING BACKFILL

- A. FREE DRAINING BACKFILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 30 INCHES AND SEATED WITH MULTIPLE PASSES OF A SMALL VIBRATORY COMPACTOR.
- B. FREE DRAINING BACKFILL SHALL BE WRAPPED IN GEOTEXTILE FABRIC, AS ILLUSTRATED ON THE DRAWINGS.

2.8 SITE DRAINAGE

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING SURFACE WATER FLOW SUCH THAT IT DOES NOT IMPACT THE SITE OR TEMPORARY CONSTRUCTION CONDITIONS.
- B. THE CONTRACTOR SHALL NOT ALLOW SURFACE RUNOFF TO ENTER THE WALL CONSTRUCTION AREA.
- C. FINISHED GRADING AT THE TOP OF THE WALL SHOULD PROVIDE DRAINAGE AWAY FROM THE RETAINING WALL SYSTEM TO PREVENT INFILTRATION OF WATER INTO RETAINED SOILS WHICH MAY INCREASE LATERAL PRESSURES ON THE STRUCTURE.

SECTION 3: DESIGN PARAMETERS

- 3.1 RETAINING WALL IS DESIGNED TO MEET THE FOLLOWING FACTORS OF SAFETY:

- A. MINIMUM FACTOR OF SAFETY AGAINST BASE SLIDING: 1.5
- B. MINIMUM FACTOR OF SAFETY AGAINST OVERTURNING: 1.75
- C. MINIMUM FACTOR OF SAFETY GLOBAL STABILITY: 1.5
- D. SOIL BEARING CAPACITY BELOW WALL SHALL BE AT LEAST 3,000 PSF AND SHALL BE FIELD VERIFIED BY WHITESTONE DURING CONSTRUCTION
- E. DESIGN DOES NOT INCLUDE SNOW LOADING OR VEHICULAR IMPACT LOADING.

SECTION 4: QA/QC

- 4.1 WALL CONSTRUCTION, MATERIAL CERTIFICATIONS, BACKFILLING, AND PLACEMENT OF MATERIALS TO BE REVIEWED BY WHITESTONE DURING CONSTRUCTION TO CONFIRM DESIGN ASSUMPTIONS.

ADDITIONAL NOTES

1. WHITESTONE SHALL REVIEW AND APPROVE ALL WORK.
2. APPROPRIATE CONSTRUCTION SIGNAGE TO BE PLACED.
3. ACCESS TO THE PLAZA SHALL BE PROVIDED AT ALL TIMES SUCH THAT OPERATIONS WITHIN THE PLAZA ARE NOT AFFECTED.
4. UTILITIES WITHIN WORK AREA TO BE LOCATED AND CLEARLY FIELD MARKED. UTILITY LOCATION MARKS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE REPAIR WORK.
5. STAGING AREA TO BE SELECTED BY CONTRACTOR AND SITE OWNER.
6. DISPLACED OR AFFECTED FENCE, GUARD RAILS, LIGHT POLES, LIGHT POLE BASES, AND CURBING TO BE REMOVED. MATERIALS THAT ARE NOT DAMAGED TO BE STOCKPILED IN THE STAGING AREA FOR REUSE.
7. ALL WORK SHALL MEET OSHA REQUIREMENTS. STABILITY OF SLOPES OF EXCAVATIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION.
8. SOME INTERSECTING BLOCKS WITHIN THE NORTHWESTERN SIDE OF THE EXISTING WALL ABUTTING ALONG DANFORTH AVENUE MAY REQUIRE TEMPORARY REMOVAL OR MODIFICATION TO ACCOMMODATE INSTALLATION OF NEW WALL BLOCKS. ACTUAL EXTENTS SHALL BE VERIFIED BY CONTRACTOR TO MAINTAIN WALL ALIGNMENT AS SHOWN ON PLANS.
9. SLOPE ABOVE NEW WALL TO REGRADE AS REQUIRED TO MEET EXISTING SLOPE. MAX SLOPE 2.5H:1V.
10. EQUIPMENT TRACKS OR TIRES SHALL NOT BE OPERATED WITHIN 4 FEET OF THE RETAINING WALL FACES. EQUIPMENT SHALL TRAVEL PARALLEL WITH THE RETAINING WALL FACES TO THE EXTENT PRACTICAL. TURNING OF EQUIPMENT SHALL BE DONE WITH CARE TO AVOID DISTURBANCE TO THE GEOGRID AND RETAINING WALLS. IN THE EVENT THAT GEOGRID OR RETAINING WALL MATERIALS ARE DISTURBED OR OTHERWISE AFFECTED BY EQUIPMENT, THESE MATERIALS ARE TO BE REPLACED.
11. REINFORCED BACKFILL TO BE PLACED AND COMPACTED TO 95 PERCENT OF THE MODIFIED PROCTOR (ASTM 1557) MAXIMUM LABORATORY DENSITY.
12. REMOVED FENCE MATERIAL AND GUARD RAILS TO BE RESTORED TO MATCH ORIGINAL.
13. EXCESS MATERIALS IN THE STAGING AREA TO BE DISPOSED OF OFF SITE.
14. STAGING AREA TO BE CLEANED AND RESTORED TO ORIGINAL CONDITION AT COMPLETION OF WORK.

WHITESTONE
An Engineer-Geoscient Company
100 WEST 107TH STREET, SUITE 200
MAYFIELD HEIGHTS, OHIO 44130

REVISIONS		
REV#	DATE	COMMENTS

DRN NO: 24000000-0000
DRAWN BY: JAR
CHECKED BY: JAR
DATE: 08/01/2024
SCALE: AS SHOWN

PROJECT: RETAINING WALL RECONSTRUCTION
REVERENDS SQUARE 17TH FLOOR
47 33 HAMILTON STREET
DOBBS FERRY, NEW YORK
COUNTY NEW YORK

FOR
REGENCY CENTERS
38 CHURCH LANE
SUITE 200
WESTPORT, CONNECTICUT
06890

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AND PUBLISHED WITHOUT WRITTEN
ASSOCIATES, INC.



RYAN B. ROY, P.E.
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 081800-1

DATE: 11/14

NOTES

SHEET NUMBER

4 OF 4

REVISIONS: 0

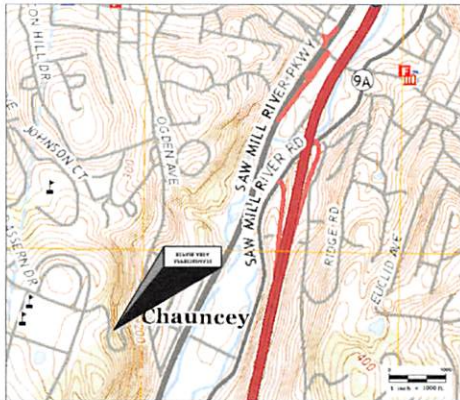
RETAINING WALL STABILIZATION

FOR

RIVERTOWNS SQUARE - BUDDHA WALL
47-55 HAMILTON STREET
DOBBS FERRY, WESTCHESTER COUNTY, NEW YORK



AERIAL SITE MAP



TOPOGRAPHIC SITE MAP

SHEET INDEX	
NUMBER	DESCRIPTION
1	COVER SHEET
2	PLAN AND ELEVATION
3	DETAILS
4	NOTES



REVISIONS	
REV	DATE

DESIGNED BY	DATE
CHECKED BY	BY
DATE	DATE
SCALE	AS SHOWN

PROJECT:
RETAINING WALL RECONSTRUCTION
RIVERTOWNS SQUARE - BUDDHA WALL
47-55 HAMILTON STREET
DOBBS FERRY WESTCHESTER COUNTY
NEW YORK
FOR:
REGENCY CENTERS
28 CHURCH LANE
SUITE 200
WESTPORT CONNECTICUT
06880

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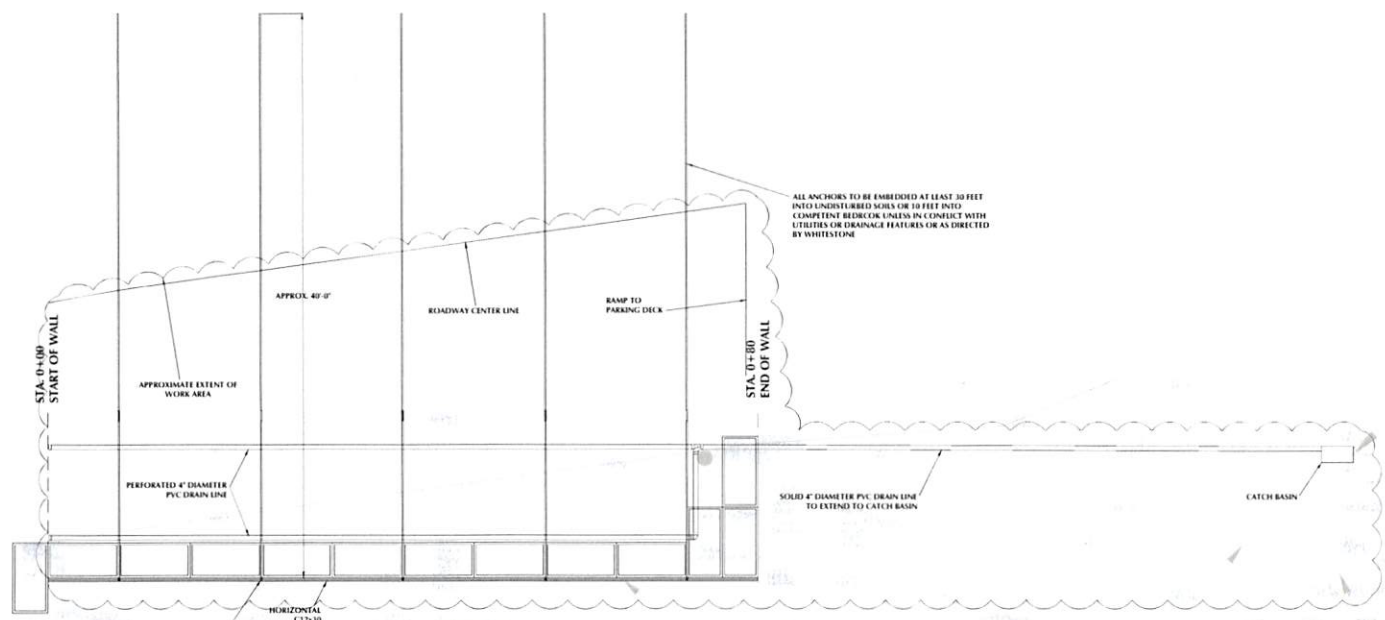


RYAN R. ROY, P.E.
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 08180-1

DATE: 10/18
COVER

SHEET NUMBER
1 OF 4

REVISIONS - 0



STABILIZED WALL PLAN
NOT TO SCALE



\\csl\fs1\share\2020\2021\145\1545\Drawings and Plans\1545\1451\1545 - Major Plans - BldgPa - 2.11.22.dwg




REVISIONS		
NO.	DATE	COMMENTS

DESIGN NO.	1545-1451-1545
DRAWN BY	JK
CHECKED BY	BAK
DATE	1.10.21
SCALE	AS SHOWN

PROJECT
RETAILING WALL RECONSTRUCTION
REVERENDS SQUARE, BUDDEHA WALL
87-10 HAMILTON STREET
DOBBS FERRY, WESTCHESTER COUNTY
NEW YORK
10964

CLIENT
REGENCY CENTERS
38 CHURCH LANE
SUITE 200
WESTPORT, CONNECTICUT
06880

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RYAN R. ROY, P.E.
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 081860-1

SHEET TITLE
PLAN AND ELEVATION

SHEET NUMBER
2 OF 4

REVISIONS: 0

PLANS ARE INTENDED TO PROVIDE A PERMANENT REPAIR TO STABILIZE THE EXISTING LOCK BLOCK® WALL AS SHOWN. THE WALL IS IN A CRITICAL AND COMPLEX LOCATION AND HAS EXPERIENCED SETTLEMENT AND LATERAL MOVEMENT SINCE CONSTRUCTION. WORK WILL BE REQUIRED CLOSE TO AN EXISTING ROADWAY. TRAFFIC CONTROL MEASURES MAY BE REQUIRED AT TIMES. ALL WORK MUST BE REVIEWED BY WHITSTONE.

1. ANCHOR GROUT MINIMUM 28-DAY COMPRESSIVE STRENGTH, FC = 3,000 PSI
2. TENSILE STRENGTH OF ANCHOR BARS, FY = 60,000 PSI (AASHTO M31/ASTM A615)
3. ALL ANCHORS TO BE EMBEDDED AT LEAST 30 FEET INTO UNDISTURBED SOILS OR 10 FEET INTO COMPETENT BEDROCK UNLESS IN CONFLICT WITH UTILITIES OR DRAINAGE FEATURES OR AS DIRECTED BY WHITESTONE.
4. NATIVE SOILS ARE CONSIDERED TO BE SILTY SAND AND GRAVEL IN A COMPACT CONDITION. NATIVE SOILS SHOULD NOT BE ANTICIPATED FOR REUSE.
5. COMPACTED BACKFILL SHALL CONSIST OF A WELL-GRADED SOIL WITH A MAXIMUM PARTICLE SIZE OF 2 INCHES AND NO MORE THAN 10 PERCENT BY WEIGHT PASSING THE NO. 200 SIEVE - OR MINUS 3/8-INCH CRUSHED STONE.
6. COMPACTED BACKFILL SHALL BE PLACED IN MAXIMUM 12-INCH LIFTS AND COMPACTED TO 95 PERCENT OF THE MODIFIED PROCTOR (ASTM 1557) MAXIMUM LABORATORY DENSITY.
7. BEDROCK MAY BE ENCOUNTERED WITHIN ANCHOR DRILL HOLES.
8. SURFACE WATER SHOULD BE DIRECTED AWAY FROM THE BACK OF THE WALL. THIS MAY REQUIRE TEMPORARY ASPHALTIC CURB WITHIN THE PAVEMENT AREA AND/OR BERMS AS REQUIRED. WATER SHALL NOT BE ALLOWED TO POND BEHIND THE BERM OR CURBING.
9. IF CHANGED CONDITION, SUCH AS VARYING GROUNDWATER LEVEL, LOOSE FILL, VOIDS, BOULDERS, OR ORGANICS, IS ENCOUNTERED DURING EXCAVATION OR ANCHOR INSTALLATION, WHITESTONE SHALL BE CONTACTED IMMEDIATELY, SO THAT THE DESIGN CAN BE RE-EVALUATED.
10. ALL UTILITIES SHALL BE FIELD LOCATED BY CONTRACTOR PRIOR TO EXCAVATION AND ANCHOR INSTALLATION.
11. TEMPORARY SLOPE STABILITY DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
12. TEMPORARY WALL STABILITY DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR.
13. EXCAVATION IN THE VICINITY OF THE WALL FACE SHALL REQUIRE SPECIAL CARE AND EFFORT COMPARED WITH GENERAL SITE EXCAVATION.

SEQUENCING:

SEQUENCING NOTES THAT FOLLOW ARE INTENDED TO DESCRIBE THE BASIC SEQUENCE OF WORK. IF CONTRACTOR INTENDS TO VARY FROM THE SEQUENCE SHOWN HERE, WHITESTONE SHOULD BE NOTIFIED.

1. STRIP SURFACE COVER, REMOVE EXISTING FENCING AND GUARDRAILS, AND ESTABLISH CONSTRUCTION FENCING TO LIMIT ACCESS TO CONSTRUCTION AREA.
2. ESTABLISH TRAFFIC CONTROL.
3. EXCAVATE BEHIND WALL AS SHOWN IN PLANS. REMOVE BLOCKS AS NECESSARY TO ACCOMMODATE EXCAVATION. BRACE WALL IF NECESSARY TO MAINTAIN STABILITY.
4. FOLLOWING COMPLETION OF EXCAVATION, PLACE DRAIN LINE IN TRENCH AT BOTTOM OF EXCAVATION. PLACE DRAINAGE BOARD. RUN DRAIN LINE PIPING.
5. PLACE CONCRETE AT BASE OF EXCAVATION.
6. INSTALL SOIL/ROCK ANCHORS AND C-CHANNEL AS SHOWN IN PLANS.
7. TENSION SOIL/ROCK ANCHORS SUCH THAT NEGATIVE BATTER IS REMOVED FROM WALL.
8. PLACE BACKFILL, ADDITIONAL DRAINAGE LINE, GEOTEXTILE, AND FINISHING MATERIALS.

SOIL/BEDROCK ANCHOR NOTES:

1. LOCATING UTILITIES AND ADJUSTMENT OF ANCHOR LOCATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR. FOLLOWING UTILITY LOCATION, LOCATIONS OF HOLES SHALL BE ADJUSTED AND REPOSITIONED TO AVOID UTILITY OR DRAINAGE STRUCTURE CONFLICTS. WHITESTONE SHALL BE NOTIFIED IF ANCHORS ARE RELOCATED MORE THAN ONE FOOT IN ANY DIRECTION. ANCHORS SHALL HAVE A MINIMUM SPACING OF TWO FEET FROM ANY UTILITY OR STRUCTURE.
2. ANCHOR INSTALLATION AND GROUTING: UNLESS HOLLOW BARS ARE USED, TENDONS SHALL BE PLACED IN THE DRILLED HOLES. A TREMIE GROUT PIPE SHALL BE INSERTED IN THE DRILL HOLE ALONG WITH THE TENDON AND THE HOLE FILLED WITH GROUT, PLACED UNDER GRAVITY OR AT A PRESSURE LESS THAN 5 PSI. ANCHORS SHALL BE GROUTED THE SAME DAY AS DRILLED. ANCHOR HOLES SHALL NOT REMAIN OPEN OVERNIGHT.
3. INSTALLATION OF STRIP DRAINS: STRIP DRAINS SHALL BE INSTALLED ON THE EXCAVATION FACE, CONTINUOUSLY FROM THE TOP OF THE PROPOSED CONCRETE LAYER TO SLIGHTLY BELOW THE BOTTOM OF THE EXCAVATION WITHIN THE CRUSHED STONE ASSOCIATED WITH THE BOTTOM DRAIN. 12" WIDE DRAINAGE STRIPS SHALL BE PLACED APPROXIMATELY THREE FEET ON CENTER THROUGHOUT THE EXCAVATION.

TESTING

WHITESTONE SHALL BE ON SITE TO REVIEW ANCHOR INSTALLATION, GROUTING, MATERIAL CERTIFICATIONS, AND PLACEMENT OF BACKFILL.

GROUT

1. GROUT TESTING BY WHITESTONE WILL CONSIST OF: COMPRESSIVE STRENGTH (ASTM C31 & C39), SLUMP (ASTM C143), AIR-CONTENT (ASTM C231 OR C173) AND TEMPERATURE (ASTM C1064).

ADDITIONAL NOTES

1. ALL PROPOSED SOIL, CONSTRUCTION MATERIALS AND CONSTRUCTION METHODS SHALL BE SUBMITTED TO WHITESTONE IN ADVANCE FOR APPROVAL PRIOR TO INITIATION OF WORK.
2. WHITESTONE SHALL REVIEW AND APPROVE ALL WORK.
3. APPROPRIATE CONSTRUCTION SIGNAGE TO BE PLACED.
4. ALTERNATE ACCESS TO THE HOTEL AND PARKING STRUCTURE SHALL BE COORDINATED WITH OWNER AND TENANTS.
5. STAGING AREA TO BE SELECTED BY CONTRACTOR AND SITE OWNER.
6. DISPLACED OR AFFECTED SITE APPEARANCES SUCH AS FENCES, GUARD RAILS, LIGHT POLES, LIGHT POLE BASES, AND/OR CURBING SHALL BE STOCKPILED IN THE STAGING AREA FOR REUSE.
7. ALL WORK SHALL MEET OSHA REQUIREMENTS. STABILITY OF SLOPES OF EXCAVATIONS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR DURING CONSTRUCTION.
8. UPPER PORTIONS OF THE EXISTING WALL MAY REQUIRE REMOVAL TO ACCOMMODATE EXCAVATION AND INSTALLATION OF ANCHORS. ACTUAL EXTENTS SHALL BE VERIFIED BY CONTRACTOR IN FIELD.
9. REMOVED FENCE MATERIAL, CURBING, PAVEMENT, SIDEWALKS, AND GUARD RAILS TO BE RESTORED TO MATCH ORIGINAL.
10. EXCESS MATERIALS IN THE STAGING AREA TO BE DISPOSED OF OFF SITE.
11. STAGING AREA TO BE CLEANED AND RESTORED TO ORIGINAL CONDITION AT COMPLETION OF WORK.

ITEM	MATERIAL	GRADE
SOIL NAIL TENDON	SAE F1552/190 BAR (B&B) 1/2" DIA. - GRADE 60 HDN.	ASTM A615 (fy=60 ksi)
C-CHANNEL NAIL GROUT	C12x30 W/ RATIO OF 0.45	ASTM A36 (fy=36 ksi)

MATERIALS OF EQUIVALENT OR GREATER STRENGTH MAY BE SUBSTITUTED UPON APPROVAL BY WHITESTONE

MATERIAL SCHEDULE

[illegible]

JOB NO.	GA020751 000
DRAWN BY	II
CHECKED BY	RR
DATE	9-11-02
SCALE	AS SHOWN

PROJECT
**RETAINING WALL
RECONSTRUCTION**
SIVERTOWN'S WELFARE - BUDDHA WALL
47-55 HAMILTON STREET
DOBBS FERRY, WESTCHESTER COUNTY,
NEW YORK

— FOR —

REGENCY CENTERS
28 CHURCH LANE
SUITE 200
WESTPORT, CONNECTICUT
06880

THE INFORMATION, DESIGN AND
CONTENT OF THIS PLAN ARE PROPRIETARY
AND SHALL NOT BE COPIED OR USED FOR
ANY PURPOSE WITHOUT PRIOR WRITTEN
AUTHORIZATION FROM WHITESIDE
ASSOCIATES, INC.



RYAN R. ROY, P.E.
PROFESSIONAL ENGINEER
NEW YORK LICENSE NO. 081180-2

Sheet Title:

NOTES

Sheet Number:

4 OF 4



VILLAGE OF DOBBS FERRY

Building Department
112 Main Street, Dobbs Ferry, NY 10522
Phone: (914) 231-8509 | Fax: (914) 693-3470

Daniel Roemer
Building Inspector

Permit Application

Application Number A2022-0200

Date 04/28/2022

Job Location 1 HAMILTON ST Lot # 3.180-157-9.1

Owner: RIVERTOWNS SQUARE REGENCY, LLC
PO BOX 790830
SAN ANTONIO, TX 78279

Applicant: RIVERTOWNS SQUARE REGENCY, LLC
PO BOX 790830
SAN ANTONIO, TX 78279

Application Type: Retaining Wall Estimated Cost of Construction: **\$850000**

Description of Work: Repair of wall behind cinema building. Consists of restacking of blocks and repairing drainage to stabilize wall.

Form Questions:

Are you utilizing pre-engineered wood or timber?	No
Are you utilizing truss type construction?	No
Construction Type	Non-combustible
Is the building sprinkled or will the addition be sprinkled?	No
Occupancy Classification	Commercial
Please specify location of Truss	NA- Not using Trusses

Application Parcel Owner Contact:

Parcel Owner Email	LizabethMiskelly@regencycenters.com
Parcel Owner Phone	203 635 5566

Job Location: RIVERTOWNS SQUARE (Cinema Wall)

Parcel Id: 3.180-157-9.1

AFFIDAVIT OF APPLICANT

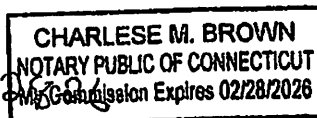
I Ryan R. Roy, P.E. being duly sworn, depose and says: That s/he does business as: Whitestone Associates, Inc. with offices at: 16 Old Forge Road, Suite A and that s/he is:


- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- X The Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Dobbs Ferry Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 29th day of April of 2022


Notary Public / Commission of Deeds
Charles M. Brown




Applicant's Signature
Ryan R. Roy, P.E.

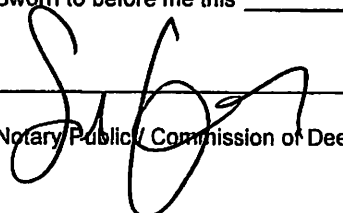
PROPERTY OWNER'S AUTHORIZATION

I Lizabeth Miskelly as the owner of the subject premises have authorized the engineer named above to perform the work under the subject application.

Owner phone number 203 635 5566. Owner email address LizabethMiskelly@regencycenters.com

Lizabeth A. Miskelly I hereby acknowledge that it is my responsibility as the property owner to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 2 day of May of 2022


Notary Public / Commission of Deeds

Lizabeth A. Miskelly
PROPERTY OWNER's SIGNATURE



VILLAGE OF DOBBS FERRY

Building Department
112 Main Street, Dobbs Ferry, NY 10522
Phone: (914) 231-8509 | Fax: (914) 693-3470

Daniel Roemer
Building Inspector

Permit Application

Application Number A2022-0203

Date 04/29/2022

Job Location 1 HAMILTON ST Lot # 3.180-157-9.1

Owner: RIVERTOWNS SQUARE REGENCY, LLC
PO BOX 790830
SAN ANTONIO, TX 78279

Applicant: RIVERTOWNS SQUARE REGENCY, LLC
PO BOX 790830
SAN ANTONIO, TX 78279

Application Type: Retaining Wall Estimated Cost of Construction: **\$1200000**

Description of Work: Retaining wall repair to brace and stabilize existing wall

Form Questions:

Are you utilizing pre-engineered wood or timber?	No
Are you utilizing truss type construction?	No
Construction Type	Non-combustible
Is the building sprinkled or will the addition be sprinkled?	No
Occupancy Classification	Commercial
Please specify location of Truss	NA- Not using Trusses

Application Parcel Owner Contact:

Parcel Owner Email	LizabethMiskelly@regencycenters.com
Parcel Owner Phone	(203) 635-5566

Job Location: RIVERTOWNS SQUARE (Buddha Wall)

Parcel Id: 3.180-157-9.1

AFFIDAVIT OF APPLICANT

I Ryan R. Roy, P.E. being duly sworn, depose and says: That s/he does business as: Whitestone Associates, Inc. with offices at: 16 Old Forge Road, Suite A and that s/he is:

___ The owner of the property described herein.

___ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that

said corporation is duly authorized by the owner to make this application.

___ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.

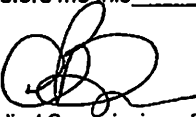
___ The Lessee of the premises, duly authorized by the owner to make this application.

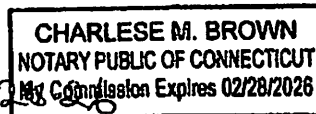
X The Engineer duly authorized by the owner to make this application.

___ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Dobbs Ferry Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 29th day of April of 2022


Notary Public / Commission of Deeds
Charles M. Brown 2-28-2026




Applicant's Signature

Ryan R. Roy, P.E.

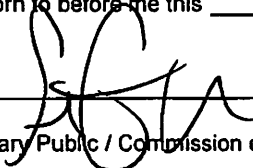
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Owner phone number (203) 635-5566. Owner email address LizabethMiskelly@regencycenters.com

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Sworn to before me this 2 day of May of 2022


Notary Public / Commission of Deeds


PROPERTY OWNER's SIGNATURE