



VILLAGE OF DOBBS FERRY BOARD OF TRUSTEES AGENDA

MEETING DATE: SEPTEMBER 28, 2021

AGENDA ITEM SECTION: DISCUSSION ITEMS

AGENDA ITEM NO. : 4

AGENDA ITEM: CONSIDER A RESOLUTION SETTING A PUBLIC HEARING FOR THE PROJECT AT 100 DANFORTH AVENUE AFTER REVIEW OF REFERRAL MEMO FROM PLANNING BOARD FOR SITE PLAN APPROVAL

ITEM BACKUP DOCUMENTATION:

1. SITE PLAN SUBMITTAL FORM FOR 100 DANFORTH AVENUE
2. LETTER & ATTACHMENTS DATED SEPTEMBER 17, 2021 FROM BRAD SCHWARTZ/ZARIN & STEINMETZ
3. 100 DANFORTH DRAWINGS
4. STORMWATER MANAGEMENT PLAN & DRAINAGE ANALYSIS
5. MEMORANDUM & ATTACHMENTS DATED SEPTEMBER 20, 2021 FROM VALERIE MONSTRA, AICP TO MAYOR ROSSILLO AND THE BOARD OF TRUSTEES
6. DRAFT RESOLUTION

Plan Submittal Form

Address: 100 Danforth Ave

Application #: A2021-0305

Project: 100 Danforth Ave - expansion of existing open air tenant BBQ terrace. Includes new retaining wall with new fencing, new landscaping, and new pavers.

Name: Michael Gadaleta, R.A., AIA, NCARB

Email: michael@mgnewyorkarchitects.com

Phone: 212-674-8456

Plans attached are being submitted for:

- Building permit application 1 PDF copy & 2 paper copies ¼ scale
- Amendment to an application or permit, 2 sealed copies
- Final As Built to close permit, 1 sealed copy
- Final survey to close permit, 1 sealed copy

Plans attached are submitted at the direction of the Building Inspector for review by the following board:

- BOT- 1 PDF copy + 5 paper copies ¼ scale
- PB - 1 PDF copy + 7 paper copies ¼ scale
- ZBA - 1 PDF copy + 4 paper copies ¼ scale
- AHRB – 1 PDF copy + 2 paper copies ¼ scale

Received Stamp:

September 17, 2021

Via Electronic and Overnight Mail

Hon. Vincent Rossillo
Mayor of the Village of Dobbs Ferry
and Members of the Board of Trustees
112 Main Street
Dobbs Ferry, New York 10522

***Re: The Danforth Apartments
Site Plan Application for Expansion of Open Air Terrace
100 Danforth Avenue ("Property")***

Dear Mayor Rossillo and Members of the Village Board of Trustees:

The Applicant (Lincoln Property Company) is excited to return to the BOT to complete the Site Plan process for this project – a small expansion (1.032sf) of an open-air patio utilized by tenants for barbecuing and as a sitting area.

We make this submission to request that the BOT place this matter on its September 28th agenda for the purpose of scheduling a Public Hearing on October 12th (the Applicant would be glad to appear on September 28th to make a short presentation). The Applicant also asks that, if appropriate, the BOT authorize a draft resolution (with conditions) to be ready for your consideration at the October 12th meeting.

A copy of the Planning Board's resolution recommending approval of this application is enclosed. We will submit a complete updated Site Plan drawing set for the BOT's record and in advance of the Public Hearing when advised to do so by the Village.

Thank you for the BOT's continued attention to this project.

Respectfully submitted,

ZARIN & STEINMETZ

By: Brad Schwartz
Brad K. Schwartz

Encl.

cc: Ed Manley, Building Official/Land Use Officer
Dan Roemer, Assistant Building Inspector
Lori Lee Dickson, Esq.
Daniel Pozin, Esq.
Valerie Monastra, AICP
Anthony Oliveri, P.E.
Lincoln Property Company
MG New York Architects, PLLC



VILLAGE OF DOBBS FERRY
112 Main Street
Dobbs Ferry, New York 10522
TEL: (914) 231-8500 • FAX: (914) 693-3470

RESOLUTION X-2021

VILLAGE OF DOBBS FERRY PLANNING BOARD RECOMMENDATION RESOLUTION

Property: 100 Danforth Avenue (Section Block and Lot 3.18-154-3.1 and CP, Chauncey Park Zoning District)

Background

WHEREAS, Lincoln Property Co ("Applicant") is seeking Site Plan approval to undertake an addition to enlarge the existing open-air terrace by approximately 1,032 square feet ("Project"). The subject property is located at 100 Danforth Avenue, Section Block and Lot 3.18-154-3.1 ("Project Site"). The Project Site is located in the Chauncey Park (CP) Zoning District; and

WHEREAS, this application requires Site Plan approval by the Village Board of Trustees and a recommendation by the Planning Board per Section 300-52 of the Zoning and Land Use chapter; and

WHEREAS, The Planning Board has carefully examined the application and the Applicant's materials as follows:

1. Site Plans prepared by MG New York Architects dated May 13, 2021:
 - a. A-000 Cover Sheet
 - b. A-001 Existing Survey
 - c. A-002 Existing Site Plan
 - d. A-100 Existing Part Plan at Area of Work
 - e. A-101 Enlarged Demo Plan at Area of Work
 - f. A-102 Existing Photos
 - g. A-103 Enlarged Proposed Plan
 - h. A-104 Details
 - i. A-105 Preliminary Planting Palette
2. Stormwater Management Plan by Hudson Engineering dated August 31, 2021
3. Planning Board application received July 22, 2021
4. Coastal Assessment Form received July 22, 2021

WHEREAS, the Planning Board has also reviewed and examined letters, reports, and memorandum from the Board's consulting engineer and planner; and

WHEREAS, the Planning Board conducted a duly noticed public hearing on September 9, 2021, at which time all those wishing to be heard were given the opportunity to be heard, and the public hearing was closed on September 9, 2021; and

WHEREAS, the Planning Board deliberated in public on the Applicant's request for recommendation.

Planning Board Determination

NOW, THEREFORE, BE IT RESOLVED, the Planning Board recommends the application for Site Plan approval with the following additional recommendations as set forth below:

1. The Village Board should require the Applicant to address to the full satisfaction of the Village Engineer, all outstanding stormwater, and engineering issues raised in the hearings and documents submitted to the Board, including the September 7, 2021, engineering review letter.

Motion By:

Seconded by:

CHAIRMAN HUNTER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ROB LANE	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ALLEN HALE	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
LAURA HAUPT	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
PETER WINDER, 1 ST ALTERNAATE MEMBER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
RESULT:	MOTION:				

I hereby attest that the above Resolution was approved by the Planning Board at its September 9, 2021 meeting, and that I have been authorized to sign this Resolution by decision of the Planning Board.

Chairman Hunter

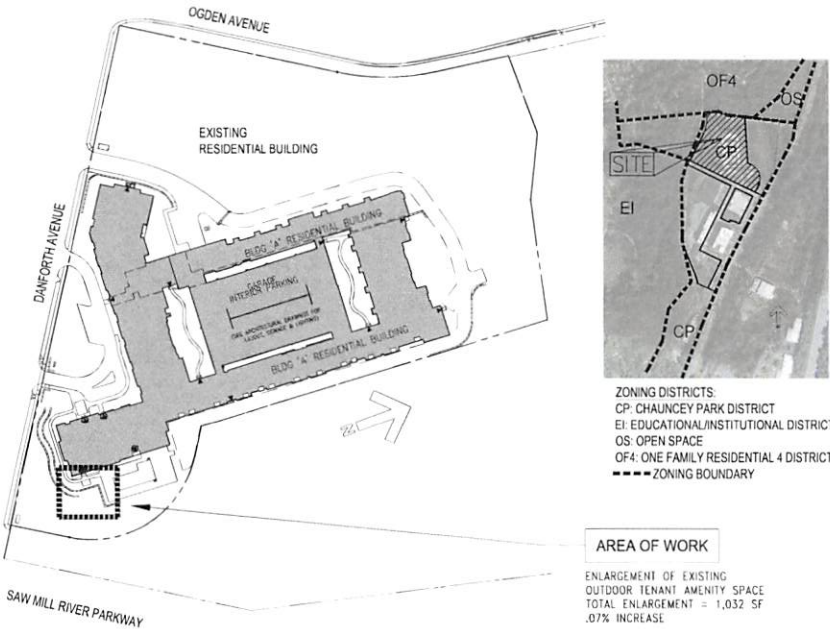
Date

ALTERATION TO SITE PLAN @ THE DANFORTH APTS. 100 DANFORTH AVENUE VILLAGE OF ELMSFORD



ARCHITECTURE * HISTORIC PRESERVATION * HEALTH CARE * LANDMARKS
11 BROADWAY, SUITE 860 NEW YORK, N.Y. 10004 TEL 212 674 8456 WWW.MGNEWYORKARCHITECTS.COM
MICHAEL J. GADALETA, R.A. A.I.A., NCARB N.Y. LIC. 17474 N.J. LIC.: 8935

SITE MAP (N.T.S.)



LIST OF DRAWINGS

ARCHITECTURAL	STORMWATER MANAGEMENT PLAN
A-000.00 COVER SHEET	C-1 STORMWATER MANAGEMENT PLAN
A-001.00 EXISTING SURVEY	
A-002.00 EXISTING SITE PLAN	
A-100.00 EXISTING PART PLAN AT AREA OF WORK	
A-101.00 ENLARGED DEMO PLAN	
A-102.00 EXISTING PHOTOS	
A-103.00 ENLARGED PROPOSED PLAN	
A-104.00 DETAILS	
A-105.00 PRELIMINARY PLANTING PALETTE	

APPLICABLE CODES

2020 BUILDING CODE OF NYS
2020 PLUMBING CODE OF NYS
2020 MECHANICAL CODE OF NYS
2020 FIRE CODE OF NYS
2020 ENERGY CONSERVATION CODE OF NYS
ICC/ANSI A117.1-2010

GENERAL NOTES

- VILLAGE OF DOBBS FERRY NOTES**
- ALL WORK TO CONFORM TO SATISFACTION OF THE BUILDING INSPECTOR
 - PROVIDE RETAINING WALLS ON ALL SLOPES EXCEEDING ONE (1) FOOT VERTICAL ON ONE AND ONE-HALF (1 1/2) FEET HORIZONTAL
 - THE BUILDER SHALL FURNISH 6" PERFORATED CMP ENCASED IN STONE WHEREVER DIRECTED BY THE BUILDING INSPECTOR.
 - SWALES TO BE INSTALLED AS DIRECTED BY THE BUILDING INSPECTOR.
 - ALL GRADING TO PERFORMED TO CREATE POSITIVE DRAINAGE.
 - A CODE 53 TO BE CALLED IN.

THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARDS, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTEE WHICH SHALL BE IN THE AMOUNT DETERMINED BY THE PLANNING BOARD AND VILLAGE ENGINEER IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.

SECTION 1 - EXECUTION AND FURNISHING OF DRAWINGS

- THE CONTRACTOR, BEFORE SUBMITTING A PROPOSAL, SHALL VISIT THE PROPOSED WORKING SITE, SHALL BE FAMILIAR WITH THE NATURE AND SCOPE OF THE WORK AND THEREAFTER SHALL ADVISE HIS EXECUTION.
- THE SUBMISSION OF THE PROPOSAL WILL BE CONSIDERED AS EVIDENCE THAT SUCH AN EXAMINATION HAS BEEN MADE AND THAT THE CONTRACTOR IS AWARE OF ALL CONDITIONS AND REQUIREMENTS FOR THE WORK AND THAT HE HAS ACCEPTED THE FULL RESPONSIBILITY FOR THE WORK AND THAT HE HAS ACCEPTED THE FULL RESPONSIBILITY FOR THE WORK AND THAT HE HAS ACCEPTED THE FULL RESPONSIBILITY FOR THE WORK.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS, THESE NOTES, AND CONDITIONS BEFORE COMMENCING ANY WORK OR ORDERING MATERIALS AND BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS, THESE NOTES, AND CONDITIONS BEFORE COMMENCING ANY WORK OR ORDERING MATERIALS AND BEFORE BEGINNING CONSTRUCTION.
- IF ANY UNFORESEEN CONDITIONS ARE FOUND DURING ANY PORTION OF THE WORK, THE CONTRACTOR SHALL STOP IMMEDIATELY AND NOTIFY THE ARCHITECT AT ONCE.
- THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT THE JOB SITE.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT COORDINATION WITH ALL SUBCONTRACTORS, WHETHER UNDER CONTRACT TO HIM OR NOT.
- WHEN "APPROXIMATE QUANTITIES" ARE SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT COORDINATION WITH ALL SUBCONTRACTORS, WHETHER UNDER CONTRACT TO HIM OR NOT.
- ALL WORK SHOWN ON THE CONSTRUCTION DOCUMENTS SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR UNLESS NOTED OTHERWISE.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF NEIGHBORHOOD PUBLIC AND PROPERTY.
- ALL REQUIRED ERECTION AND LEFT APPROXIMATIONS SHALL BE CONTINUOUSLY MAINTAINED PER THE INSTRUCTIONS THROUGHOUT THE CONSTRUCTION.
- DURING THE ENTIRE CONSTRUCTION PERIOD, ALL EXISTING LIGHTING, FIRE PROTECTION DEVICES AND ALARMS SHALL BE MAINTAINED AND OPERATIONAL.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES AND SERVICES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT COORDINATION WITH ALL SUBCONTRACTORS, WHETHER UNDER CONTRACT TO HIM OR NOT.
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- DURING THE ENTIRE CONSTRUCTION PERIOD, ALL EXISTING LIGHTING, FIRE PROTECTION DEVICES AND ALARMS SHALL BE MAINTAINED AND OPERATIONAL.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES AND SERVICES.

SECTION 2 - COVERING, SCHEDULING AND PERMITS

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN ALL NECESSARY BUILDING PERMITS AND FOR SCHEDULING WORKING PERMITS, INSURANCE, PROTECTION, PROTECTION OF NEIGHBORHOOD PUBLIC AND PROPERTY, AND FOR SCHEDULING WORKING PERMITS, INSURANCE, PROTECTION, PROTECTION OF NEIGHBORHOOD PUBLIC AND PROPERTY, AND FOR SCHEDULING WORKING PERMITS, INSURANCE, PROTECTION, PROTECTION OF NEIGHBORHOOD PUBLIC AND PROPERTY.
- THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND REGULATORY AGENCIES' ORDERS HAVING JURISDICTION.
- ALL MATERIALS, EQUIPMENT, CONSTRUCTION AND EQUIPMENT SHALL CONFORM TO ALL GOVERNING BUILDING CODES, FEDERAL, STATE, AND LOCAL, AND SHALL CONFORM TO GENERALLY ACCEPTED STANDARDS.
- ALL WORK SHALL BE THE PROGRESS AS REQUIRED BY THE BUILDING CODE.
- IF THE CONTRACTOR WANTS ANY HOLDING PERMITS, EVIDENCE OF HOLDING PERMITS, SHALL AT HIS OWN EXPENSE OBTAIN ALL COPIES OF ALL PERMITS AND CERTIFICATE MATERIALS AND SHALL MAINTAIN THE SAME AGAINST ANY DEMANDS MADE BY ANY AGENCIES.

SECTION 3 - APPROVING AND SUBMITTING SHOP DRAWINGS AND SAMPLES

- BY APPROVING AND SUBMITTING SHOP DRAWINGS AND SAMPLES, THE GENERAL CONTRACTOR AGREES THAT ALL MATERIALS, EQUIPMENT, CONSTRUCTION AND EQUIPMENT SHALL CONFORM TO ALL GOVERNING BUILDING CODES, FEDERAL, STATE, AND LOCAL, AND SHALL CONFORM TO GENERALLY ACCEPTED STANDARDS.
- THE GENERAL CONTRACTOR SHALL NOT BE HELD RESPONSIBLE FOR ANY CONSTRUCTION, FAILURE OR OMISSIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE APPROVAL OF SHOP DRAWINGS OR SAMPLES.
- NO PERMITS WILL BE PERMITTED UNLESS SUBMITTED IN WRITING BY THE GENERAL CONTRACTOR TO OWNER AND MUST INCLUDE THE FOLLOWING INFORMATION:
- SHALL AND CHANGE ORDER NUMBER;
- THE LOCATION AND COMPLETE DESCRIPTION OF THE WORK TO BE PERFORMED;
- THE CHANGE ORDER COST INCLUDING A COMPLETE BREAKDOWN SO THAT AN EVALUATION OF THE CHANGE ORDER CAN BE MADE;
- THE SCHEDULE OF WORK TO BE DONE AND CONSTRUCTION TIME THAT SHALL NOT IMPACT THE PROJECT COMPLETION DATE.

SECTION 4 - INSURANCES

- THE GENERAL CONTRACTOR SHALL OBTAIN PROPER CERTIFICATES OF INSURANCE AS REQUIRED BY THE GOVERNING JURISDICTION AND SUBMITTED TO THE OWNER AND ARCHITECT OF RECORD.

SECTION 5 - SUBMITTALS

- THE GENERAL CONTRACTOR SHALL SUBMIT ALL MATERIALS AND EQUIPMENT TO THE ARCHITECT FOR APPROVAL BEFORE BEING USED ON THE PROJECT.
- ANY MATERIALS AND FINISHES NECESSARY TO FINISH ANY WORK NOT CALLED OUT IN THESE DRAWINGS IS CONSIDERED TO BE WITHIN THE SCOPE OF THE WORK.
- THE GENERAL CONTRACTOR SHALL CONTROL CLEANING TO PREVENT DIRT AND DEBRIS FROM LEAVING THE JOB SITE AND FROM THE TRAILER AREAS NOT PROVIDED IN THE PROJECT.
- ALL WORK SHALL BE PERFORMED IN A NEAT, CAREFUL MANNER AND IN ACCORDANCE WITH BEST PRACTICES WITH FIRST CLASS MATERIALS.
- THE GENERAL CONTRACTOR AGREES THAT WORK NOT PERFORMED HEREON SHALL BE INSTALLED ON THE PROJECT.
- NO OTHER WORK OF MATERIAL SHALL BE ACCEPTED BY THIS PROJECT UNLESS IT IS APPROVED BY THE ARCHITECT AT THE TIME OF INSTALLATION OR APPROVAL. THIS WORK MUST BE INSTALLED AND MADE COMPLETE.
- ANY SUBSTITUTION THE GENERAL CONTRACTOR WANTS TO MAKE OTHER THAN THAT STATED IN THE PROPOSAL SHALL BE SUBMITTED IN WRITING WITH THE COST OF SUBSTITUTION. IF IT IS ACCEPTED, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT COORDINATION WITH ALL SUBCONTRACTORS.

SECTION 6 - PROTECTION OF WORK AND PROPERTY

- THE GENERAL CONTRACTOR SHALL PROTECT AND BE RESPONSIBLE FOR THE EXISTING STRUCTURES, UTILITIES AND NEIGHBORHOOD PUBLIC AND PROPERTY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT COORDINATION WITH ALL SUBCONTRACTORS, WHETHER UNDER CONTRACT TO HIM OR NOT.
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SECTION 7 - SHOP DRAWINGS

- THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF WORK PROPOSED TO BE INSTALLED AND SHALL BE RESPONSIBLE FOR THE CORRECT COORDINATION WITH ALL SUBCONTRACTORS, WHETHER UNDER CONTRACT TO HIM OR NOT.
- THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF WORK PROPOSED TO BE INSTALLED AND SHALL BE RESPONSIBLE FOR THE CORRECT COORDINATION WITH ALL SUBCONTRACTORS, WHETHER UNDER CONTRACT TO HIM OR NOT.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECT COORDINATION WITH ALL SUBCONTRACTORS, WHETHER UNDER CONTRACT TO HIM OR NOT.

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ISSUED TO BOARD OF TRUSTEES
09 16 2021

ARCHITECT
M-G NEW YORK ARCHITECTS
ARCHITECTURE, HEALTH CARE, HISTORIC PRESERVATION & FOOD SERVICE
11 BROADWAY, SUITE 860 NEW YORK, N.Y. 10004
TEL 212 674 8456 WWW.MGNEWYORKARCHITECTS.COM
N.Y. LIC. 17474 N.J. LIC. 8935 C.T. LIC. 8751



CLIENT
LINCOLN PROPERTY CO.
100 DANFORTH AVE
VILLAGE OF DOBBS FERRY, NY

PROJECT
THE DANFORTH APTS
100 DANFORTH AVE
VILLAGE OF DOBBS FERRY, NY

TITLE
COVER SHEET

ISSUE DATE
09 16 2021

PROJECT NUMBER
2021-05

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AMG

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DRAWING NO
1 OF 9

PAGE
1 OF 9

DOB SCAN STICKER

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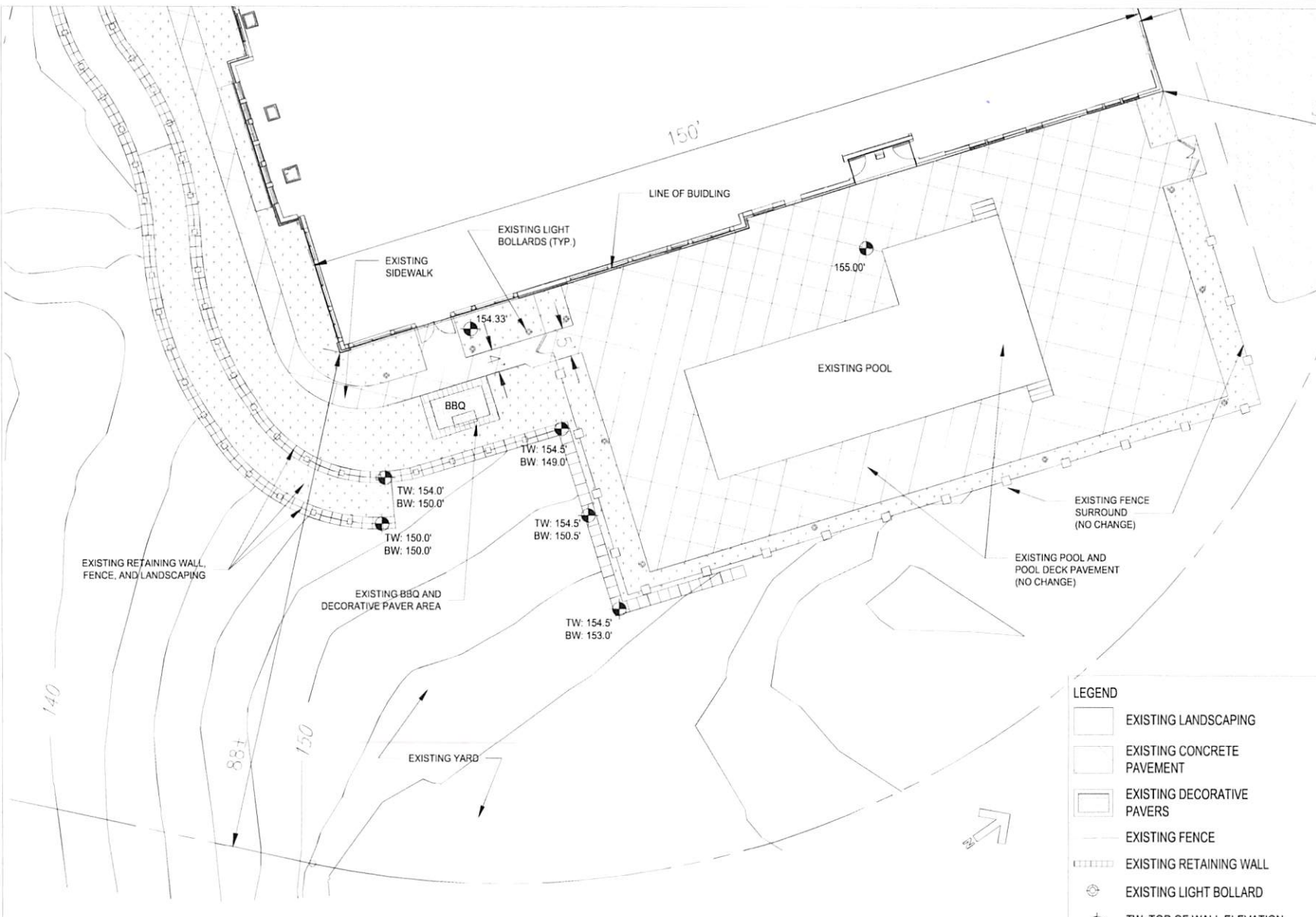
EXISTING ZONING DATA

TABLE OF LAND USE ZONE: CP (CHAUNCEY PARK) DISTRICT			
	DESCRIPTION	REQUIRED	PROVIDED
LOT SIZE	MINIMUM LOT AREA (ACRES)	--	8.33'
	MINIMUM LOT SIZE PER DWELLING UNIT (S.F.)	1,800 (1)	1,800 FOR 202 UNITS*
BUILDING HEIGHT	MAXIMUM STORES	5	4'
	MAXIMUM HEIGHT (FT)	65	48'
	MAXIMUM COVERAGE BY BUILDINGS (%)	30	20.5'
LOT COVERAGE	MAXIMUM COVERAGE BY IMPERVIOUS COVER (%)	70	36.9 (INCREASE OF 1%)
	FRONT YARD SETBACK (FT)	0 OR 10	20'
SETBACKS	REAR YARD SETBACK (FT)	20	144'
	SIDE YARD SETBACK (EACH) (FT)	10	211'
	SIDE YARD SETBACK (BOTH) (FT)	20	188'
PARKING	RESIDENTIAL PARKING	229 SPACES	360 SPACES*

NOTES

- MINIMUM LOT AREA PER DWELLING UNIT IS CALCULATED UTILIZING THE GROSS LOT AREA WHICH IS DEFINED AS THE TOTAL SQUARE FOOTAGE OF A LOT PRIOR TO ANY REDUCTIONS PURSUANT TO CHAPTER 300 ZONING FOR THE SUBJECT +/- 8.34 ACRE PROPERTY. PERMITTED DENSITY WOULD BE APPROX. 202 DWELLING UNITS. THE BOARD OF TRUSTEES MAY AWARD DENSITY BONUS ALLOWANCES UP TO A MAXIMUM OF 20% FOR PROVISION OF CERTAIN AMENITIES AND FACILITIES.
- THE MAXIMUM HEIGHT OF A STRUCTURE IN FEET IS TO BE MEASURED PERPENDICULARLY FROM THE EXISTING GRADE TO AN IMAGINARY PLANE LOCATED THE PERMITTED NUMBER OF FEET ABOVE AND PARALLEL TO THE EXISTING GRADE FOR PEAKED ROOFS, HEIGHT IS TO BE MEASURED TO THE MIDPOINT OF THE ROOF. NO PORTION OF A PEAKED ROOF BELOW THE MIDPOINT IS TO EXTEND ABOVE THE IMAGINARY PLANE. FOR FLAT ROOFS, HEIGHT IS TO BE MEASURED TO THE TOP OF THE ROOF. NO PORTION OF A FLAT ROOF IS TO EXTEND ABOVE THE IMAGINARY PLANE. PARAPETS WITH A HEIGHT OF 36" OR LESS ARE NOT INCLUDED IN DETERMINING BUILDING HEIGHT.
- A YARD OF NOT LESS THAN TEN (10) FEET IS TO BE PROVIDED ALONG ANY LOT LINE THAT BORDERS ON A RESIDENTIAL ZONE. IN THE CASE OF THE SUBJECT SITE, THIS WOULD APPLY TO THE WESTERLY AND NORTHERLY PROPERTY LINES, WHICH BORDER AN OF-4 ONE FAMILY RESIDENTIAL 4 DISTRICT.

* INDICATES NO CHANGE



CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS WITH THE PROJECT ARCHITECT PRIOR TO COMMENCING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DOBBS FERRY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DOBBS FERRY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DOBBS FERRY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF DOBBS FERRY.

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NOTES

ISSUED TO BOARD OF TRUSTEES
09/16/2021

ARCHITECT

M-G NEW YORK
 ARCHITECTS
 ARCHITECTURE, HEALTH CARE, HISTORIC
 PRESERVATION & FOOD SERVICE
 11 BROADWAY, SUITE 800 NEW YORK, N.Y. 10004
 TEL: 212 874 8408 WWW.MGNEWYORKARCHITECTS.COM
 MICHAEL J. GAGLIARDI, AIA, AIA, AIA
 N.Y. LIC. 17474 N.J. LIC. 8003 CT LIC. 8791



CLIENT
 LINCOLN PROPERTY CO.
 100 DANFORTH AVE.
 VILLAGE OF DOBBS
 FERRY, NY

PROJECT
 THE DANFORTH APTS
 100 DANFORTH AVE
 VILLAGE OF DOBBS
 FERRY, NY

TITLE
 EXISTING PART PLAN
 AT AREA OF WORK

ISSUE DATE 09 16 2021

PROJECT NUMBER 2021-05

DRAWING BY AMG

CAD FILE

SCALE AS NOTED

DRAWING NO. **A-100.00**

PAGE 4 OF 9

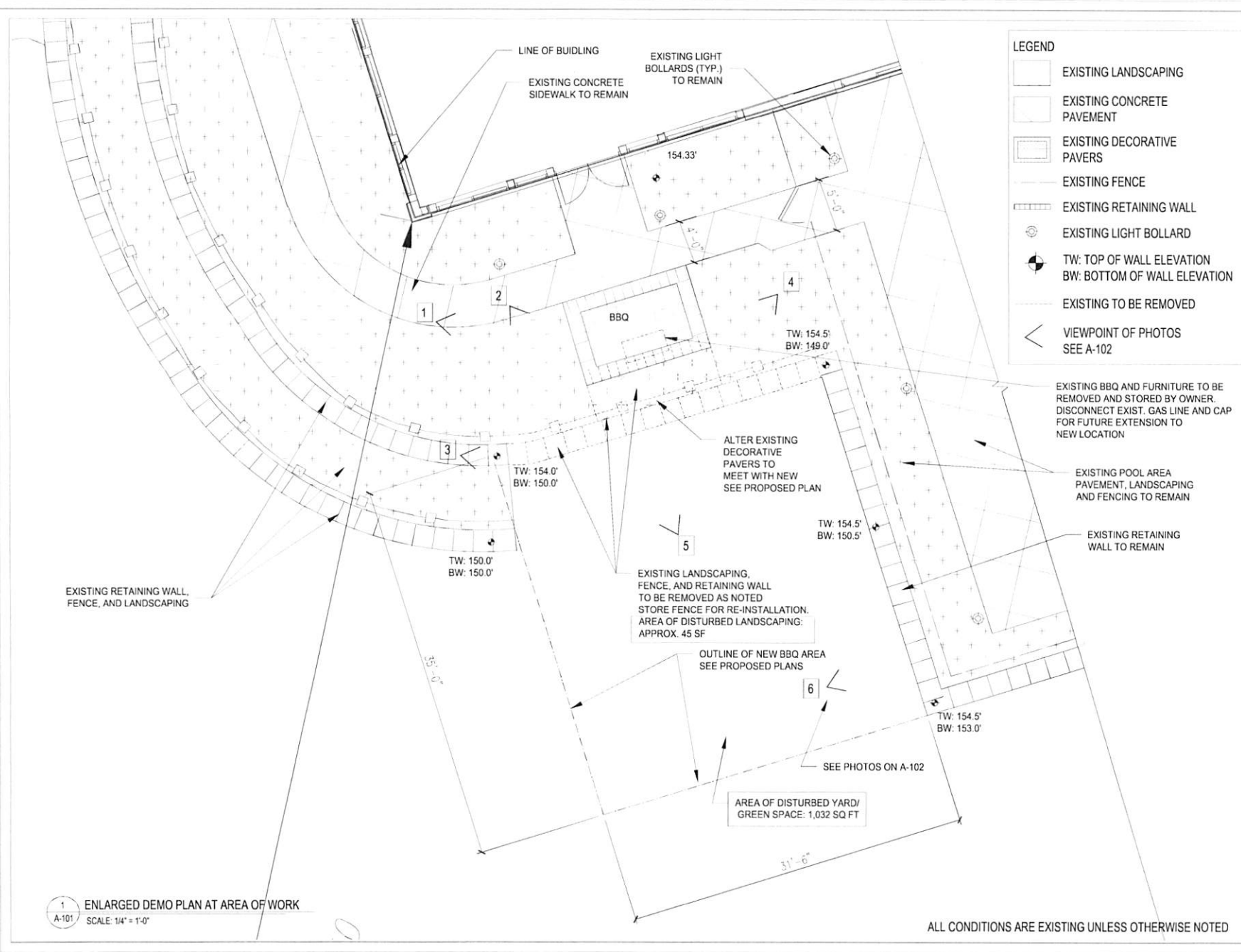
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DOB APPROVAL STAMP

- LEGEND
-  EXISTING LANDSCAPING
 -  EXISTING CONCRETE PAVEMENT
 -  EXISTING DECORATIVE PAVERS
 -  EXISTING FENCE
 -  EXISTING RETAINING WALL
 -  EXISTING LIGHT BOLLARD
 -  TW: TOP OF WALL ELEVATION
BW: BOTTOM OF WALL ELEVATION

1
 A-100
 EXISTING PART PLAN AT AREA OF WORK
 SCALE: 1/8" = 1'-0"

ALL CONDITIONS ARE EXISTING UNLESS OTHERWISE NOTED



LEGEND

- EXISTING LANDSCAPING
- EXISTING CONCRETE PAVEMENT
- EXISTING DECORATIVE PAVERS
- EXISTING FENCE
- EXISTING RETAINING WALL
- EXISTING LIGHT BOLLARD
- TW: TOP OF WALL ELEVATION
BW: BOTTOM OF WALL ELEVATION
- EXISTING TO BE REMOVED
- VIEWPOINT OF PHOTOS
SEE A-102

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITH THE PROJECT PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AND STATE AUTHORITIES.

REVISIONS

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NOTES:

ISSUED TO BOARD OF TRUSTEES
09 16 2021

ARCHITECT
M-G NEW YORK ARCHITECTS
 ARCHITECTURE, HEALTH CARE, HISTORIC PRESERVATION & FOOD SERVICE
 21 BROADWAY SUITE 200 NEW YORK, NY 10004
 TEL: 212 871 8406 WWW.MGNEWYORKARCHITECTS.COM
 MICHAEL J. CADOLETTA R.A. A.I.A.
 N.Y. LIC. 13524 N.J. LIC. 3806 CT. LIC. 4751

SIGNATURE AND SEAL:

CLIENT:
 LINCOLN PROPERTY CO.
 100 DANFORTH AVE
 VILLAGE OF DOBBS FERRY, NY

PROJECT:
 THE DANFORTH APPTS
 100 DANFORTH AVE
 VILLAGE OF DOBBS FERRY, NY

TITLE:
 ENLARGED DEMO PLAN AT AREA OF WORK

ISSUE DATE: 09 16 2021

PROJECT NUMBER: 2021-05

DRAWING BY: AMG

CAD FILE:

SCALE: AS NOTED

DRAWING NO: A-101.00

PAGE: 5 OF 9

DOB SCAN STICKER:

DOB APPROVAL STAMP:

1
 A-101 ENLARGED DEMO PLAN AT AREA OF WORK
 SCALE: 1/4" = 1'-0"

ALL CONDITIONS ARE EXISTING UNLESS OTHERWISE NOTED



1 - EXISTING BBQ AREA



2 - VIEW OF GREEN SPACE TO BE DISTURBED (BEYOND)



3 - VIEW OF GREEN SPACE TO BE DISTURBED



4 - AREA OF LANDSCAPING BEHIND BBQ TO BE DISTURBED



5 - EXISTING RETAINING WALL WITH DRAIN AT BBQ AREA



5 - EXISTING RETAINING WALL AT POOL AREA

CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE PROJECT JURISDICTION TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND ALL APPLICABLE CODES. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE WAIVED AS A RESULT OF THE CONTRACTOR'S FAILURE TO OBTAIN SUCH PERMITS.

REVISIONS

NO.	DATE	DESCRIPTION

NOTES:
ISSUED TO BOARD OF TRUSTEES
09/16/2021

ARCHITECT

M:G NEW YORK ARCHITECTS
 ARCHITECTURE, HEALTH CARE, HISTORIC PRESERVATION & FOOD SERVICE
 75 BROADWAY, SUITE 800 NEW YORK, NY 10004
 TEL: 212 874 8488 WWW.MGNEWYORKARCHITECTS.COM
 MICHAEL J. GARDNER, P.E. AIA, AIA
 N.Y. LIC. 70474 N.J. LIC. 8008 C.T. LIC. 8793

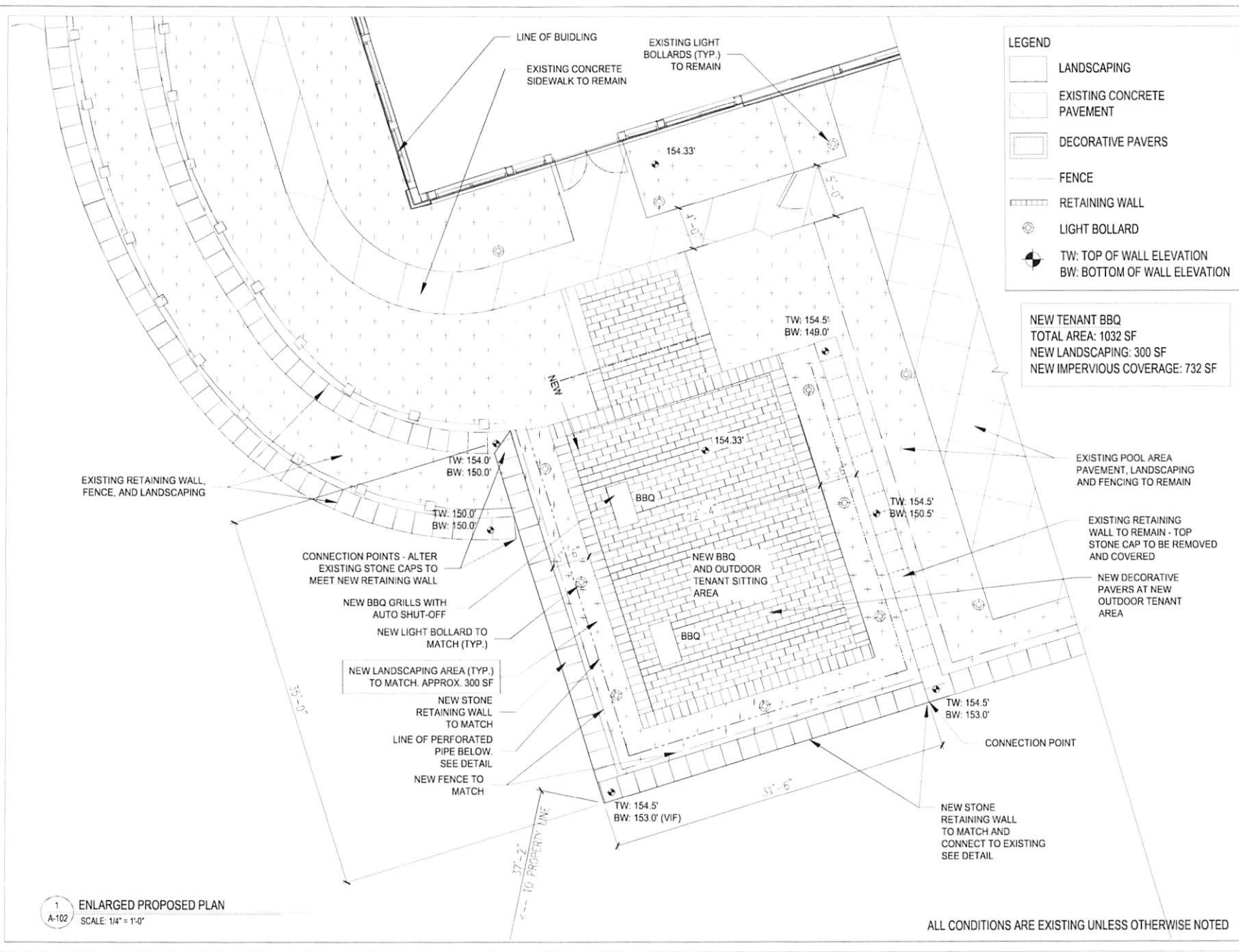
SIGNATURE AND SEAL:


CLIENT
 LINCOLN PROPERTY CO.
 100 DANFORTH AVE
 VILLAGE OF DOBBS
 FERRY, NY

PROJECT
 THE DANFORTH APTS
 100 DANFORTH AVE
 VILLAGE OF DOBBS
 FERRY, NY

TITLE
 EXISTING PHOTOS

ISSUE DATE: 09 16 2021
 PROJECT NUMBER: 2021-05
 DRAWING BY: AMG
 CAD FILE:
 SCALE: AS NOTED
 DRAWING NO: A-102.00
 PAGE: 6 OF 9
 DOB SCAN STICKER:
 DOB APPROVAL STAMP:



LEGEND

- LANDSCAPING
- EXISTING CONCRETE PAVEMENT
- DECORATIVE PAVERS
- FENCE
- RETAINING WALL
- LIGHT BOLLARD
- TW: TOP OF WALL ELEVATION
- BW: BOTTOM OF WALL ELEVATION

NEW TENANT BBQ
 TOTAL AREA: 1032 SF
 NEW LANDSCAPING: 300 SF
 NEW IMPERVIOUS COVERAGE: 732 SF

DATE OF ALL THE 2-D DRAWINGS SHALL BE THE DATE THEY WERE DRAWN. THE DATE OF ANY REVISIONS SHALL BE THE DATE THEY WERE MADE. THE DATE OF ANY REVISIONS SHALL BE THE DATE THEY WERE MADE. THE DATE OF ANY REVISIONS SHALL BE THE DATE THEY WERE MADE.

REVISIONS

NO.	DATE	DESCRIPTION

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09/16/2021

ARCHITECT

M-G NEW YORK
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 MICHAEL J. GARDNER, AIA, AIA
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 VILLAGE OF DOBBS
 FERRY, NY

PROJECT
 THE DANFORTH APTS
 100 DANFORTH AVE
 VILLAGE OF DOBBS
 FERRY, NY

TITLE
 ENLARGED
 PROPOSED PLAN

ISSUE DATE 09 16 2021

PROJECT NUMBER 2021-05

DRAWING BY AMG

CAD FILE

SCALE AS NOTED

DRAWING NO. A-103.00

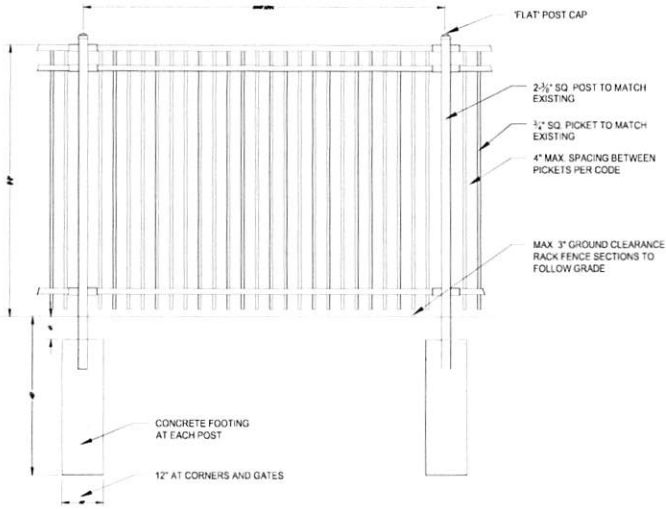
PAGE 7 OF 9

DOB SCAN STICKER:

DOB APPROVAL STAMP:

1
A-102 ENLARGED PROPOSED PLAN
SCALE: 1/4" = 1'-0"

ALL CONDITIONS ARE EXISTING UNLESS OTHERWISE NOTED



1 ALUM. PICKET FENCE DETAILS - MATCH EXISTING
SCALE: 3/4" = 1'-0"

LED Garden and pathway bollard - Unshaded light

BEGA

Application
LED bollard luminaires with unshaded light distribution and battery pack designed for use in the decoration of gardens and residential installations. Provided with mounting surface for allows the bollards to be installed independently of concrete footings.

Type:
BEGA Product
Project:
Material:

Material
Cylindrical housing: cast aluminum (anodized) with stainless steel and stainless steel glass. (option base is 316 stainless steel) with stainless steel.
Fluorescent tubes: Philips
Mounting surface: aluminum (anodized) or stainless steel
Power supply: Philips
Accessories: stainless steel mounting plate
Mechanically approved: approved for use
Material: stainless steel (AISI 316)
Weight: 0.8 kg

Electrical
Operating voltage: 100-277V AC
Maximum wattage: 30W
LED module wattage: 3.0W
Battery wattage: 0.8W
Compliance: CE, FCC, RoHS
Energy efficiency class: A++
Luminous flux: 180 lumens (LM)
Lifetime: 50,000 h (L70)
Lifetime of LED: 50,000 h (L70)

LED color temperature
3000K (Product number: K4)
3500K (Product number: K20)
4000K (Product number: K2)
5000K (Product number: K21)
BEGA can supply other available LED replacement modules for up to 20 years after the product's LED lifetime - see website for details.

Finish
Anodized aluminum (standard) or other finishes available upon request.
Available colors: Black (RAL 9005) / White (RAL 9010)
Black (RAL 9005) / Silver (RAL 9006)



NEW BOLLARDS TO MATCH EXISTING



NEW DECORATIVE PAVERS TO MATCH EXISTING

CONTRACT NO. 2021-05-001
DATE OF ISSUE: 09/16/2021
ISSUED TO: BOARD OF TRUSTEES

NO.	DATE	DESCRIPTION
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NOTES

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09/16/2021

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M-G NEW YORK
ARCHITECTURE, HEALTH CARE, HISTORIC
PRESERVATION & FOOD SERVICE
11 BROADWAY, SUITE 802 NEW YORK, NY 10004
TEL: 212 694 8888 WWW.MGNEWYORKARCHITECTS.COM
MICHELLE J. GADALETA R.A. A.I.A.
N.Y. LIC. 13474 N.J. LIC. 8903 CT LIC. 8751

SIGNATURE AND SEAL

CLIENT
LINCOLN PROPERTY CO.
100 DANFORTH AVE
VILLAGE OF DOBBS
FERRY, NY

PROJECT
THE DANFORTH APTS
100 DANFORTH AVE
VILLAGE OF DOBBS
FERRY, NY

TITLE
DETAILS

ISSUE DATE
09/16/2021

PROJECT NUMBER
2021-05

DRAWING BY
AMG

CAD FILE

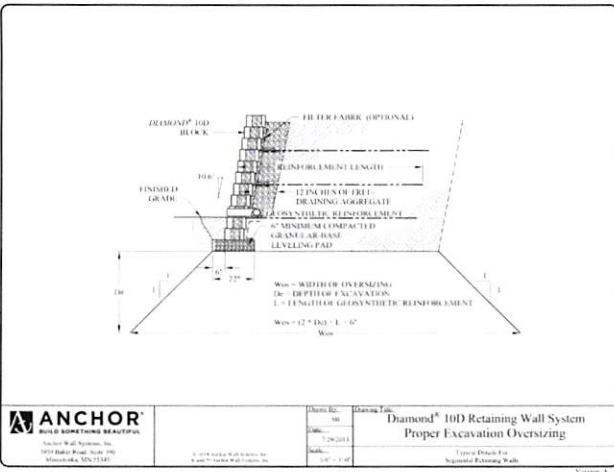
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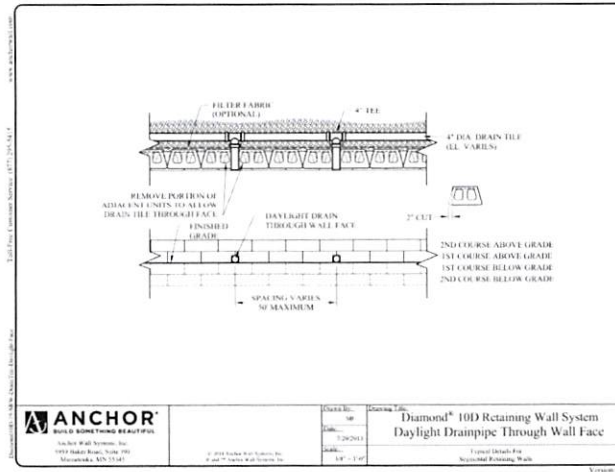
PAGE
8 OF 9

DOB SCAN STICKER

DOB APPROVAL STAMP



ANCHOR
DIAMOND 100 Retaining Wall System
Proper Excavation Oversizing
Version A



ANCHOR
DIAMOND 100 Retaining Wall System
Daylight Drainpipe Through Wall Face
Version A

RETAINING WALL DETAILS



Common Name: 'Taylor' Juniper
Botanical Name: *Juniperus virginiana* 'Taylor'



Common Name: 'Green Velvet' Boxwood
Botanical Name: *Buxus* 'Green Velvet'



Common Name: Japanese Yew
Botanical Name: *Taxus densiformis*



Common Name: 'Purple Dome' New England Aster
Botanical Name: *Aster novae-angliae* 'Purple Dome'



Common Name: 'September Charm' Anemone
Botanical Name: *Anemone x hybrida* 'September Charm'



Common Name: 'Carlton' Daffodils
Botanical Name: *Narcissus* 'Carlton'

LEGEND
 EXIST. LANDSCAPING (TO REMAIN)

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW YORK AND THE STATE OF NEW YORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW YORK AND THE STATE OF NEW YORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW YORK AND THE STATE OF NEW YORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NEW YORK AND THE STATE OF NEW YORK.

REVISIONS

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NOTES

ISSUED TO BOARD OF TRUSTEES
09 16 2021

ARCHITECT
M-G NEW YORK
 ARCHITECTURE, HEALTH CARE, HISTORIC
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 11 BRICCADRAY, SUITE 800 NEW YORK, N.Y. 10024
 TEL. 212 619 8400 FAX 212 619 8401
 MICHAEL J. GARDIOLA R.A. A.I.A.
 N.Y. LIC. 17474 N.J. LIC. 9809 C.T. LIC. 8751



CLIENT
 LINCOLN PROPERTY CO.
 100 DANFORTH AVE
 VILLAGE OF DOBBS
 FERRY, NY

PROJECT
 THE DANFORTH APTS
 100 DANFORTH AVE
 VILLAGE OF DOBBS
 FERRY, NY

TITLE
 PRELIMINARY
 PLANTING PALETTE

ISSUE DATE
 09 16 2021

PROJECT NUMBER
 2021-05

DRAWING BY
 AMG

CAD FILE
 SCALE

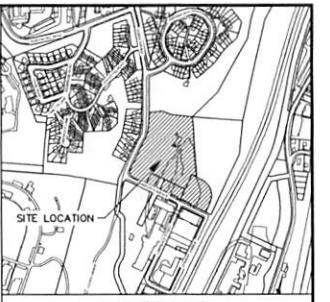
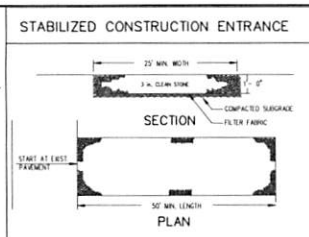
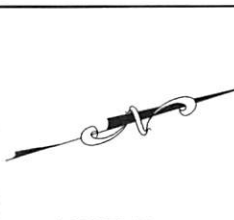
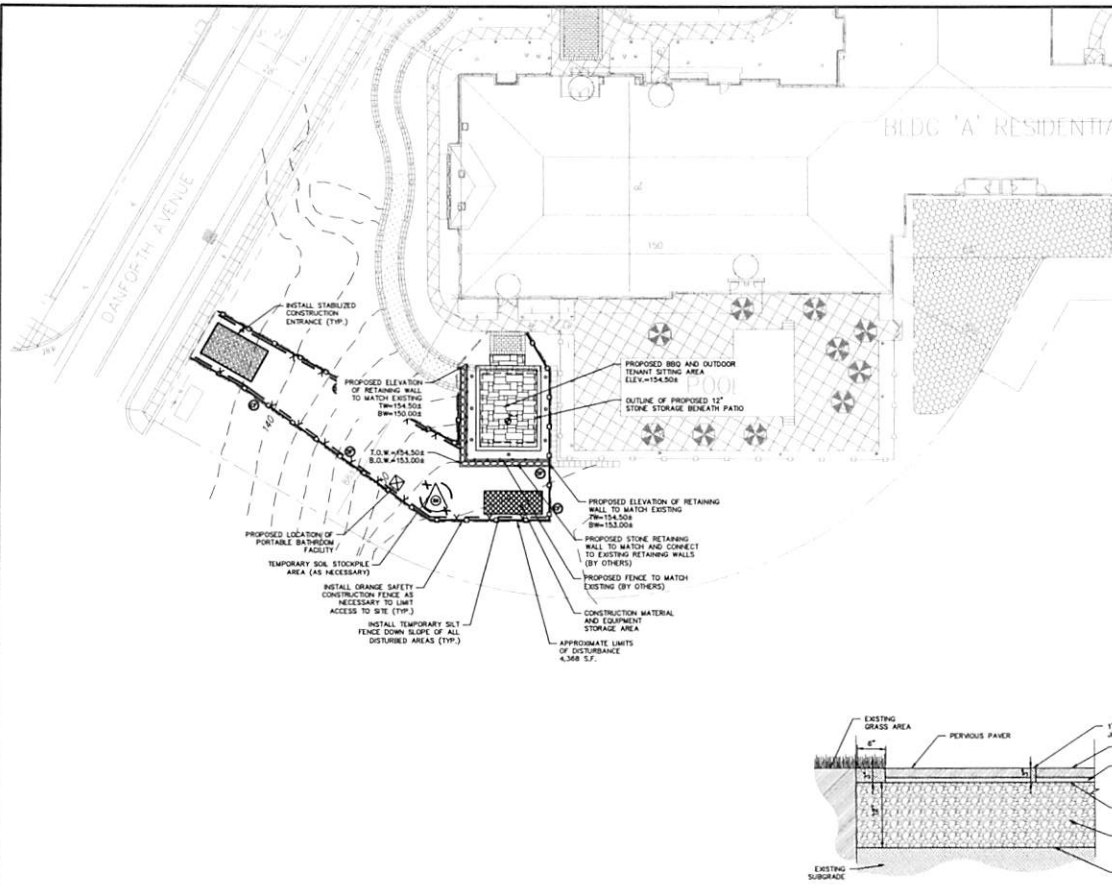
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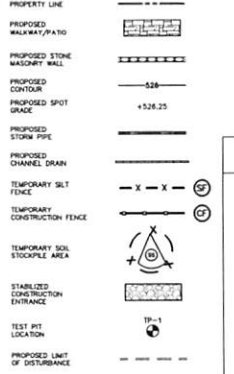
PAGE
 9 OF 9

DOB SCAN STICKER

DOB APPROVAL STAMP

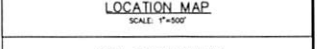
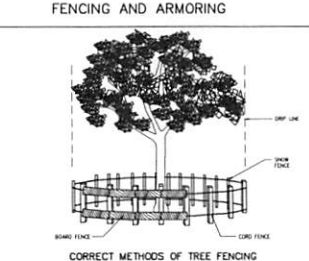


LEGEND



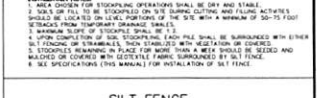
INSTALLATION NOTES:

1. STONE TO BE USED IS STONE OR RECYCLED CONCRETE EQUIVALENT
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 6 FEET EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH SHALL APPLY.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES
4. SURFACE TO BE FINISHED WITH A 1/2\"/>



INSTALLATION NOTES:

1. AREA COVERED FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. SOILS OR FILL TO BE STOCKPILED ON THIS SLOPE, CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTIONS OF THE SITE WITH A MINIMUM OF 50-75 FEET RETRADE FROM TEMPORARY DISTURBED AREAS.
3. MINIMUM SLOPE OF STOCKPILE SHALL BE 3:1.
4. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDING WITH EITHER SILT FENCE OR STRAWBALE BUNDLES WITH SLOPE WITH VEGETATION OR COVERED.
5. STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEIZED AND MAINTAINED OR COVERED WITH DEEPLYER, BUNDLED STRAW OR SILT FENCE.
6. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

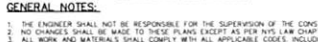


INSTALLATION NOTES:

1. EXCAVATE A 4\"/>

TEST HOLE DATA:
 TEST HOLE #1
 PERC. - 7 INCHES/HOUR
 #3 INCHES/ HOUR (IN DESIGN)

BLUESTONE PATIO W/ GRASS JOINTS AND UNDERDRAIN



GENERAL NOTES:

1. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SUPERVISION OF THE CONSTRUCTION.
2. NO CHANGES SHALL BE MADE TO THESE PLANS EXCEPT AS PER NY STATE CHAPTER 817.
3. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO NYC UNIFORM ZONING AND THE NEW YORK STATE BUILDING CODE.
4. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
5. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER AND ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
8. SAFETY DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL AGENCIES IN EFFECT DURING THE PERIOD OF CONSTRUCTION.
9. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAKE APPLICATION TO RECEIVE ALL NECESSARY PERMITS TO PERFORM THE WORK UNDER CONTRACT. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE LICENSED TO DO ALL WORK AS REQUIRED BY THE LOCAL COUNTY AND STATE AGENCIES WHICH MAY HAVE JURISDICTION OVER THESE TRAILS, AND SHALL PRESENT THE OWNER WITH COPIES OF ALL LICENSES AND INSURANCE CERTIFICATES.
10. FINAL GRADING AROUND THE BUILDING AREA SHALL SLOPE AWAY FROM THE STRUCTURE.
11. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
12. ADJACENT PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, REMEDIATION AND DEMOLITION WORK. PROTECTION MUST BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. THE PERSON MAKING OR CAUSING AN EXCAVATION TO BE MADE SHALL PROVIDE WRITTEN NOTICE TO THE OWNER OF ADJACENT BUILDINGS, INCLUDING WHEN THAT EXCAVATION IS TO BE MADE AND THAT THE ADJACENT BUILDING SHOULD BE PROTECTED. WRITTEN NOTICE SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE COMMENCEMENT OF EXCAVATION.
13. OWNER SHALL REQUIRE THAT THE INSURANCE PROVIDED BY THE CONTRACTOR HIED TO PROTECT THE WORK SHALL BE PROVIDED TO NAME: HUDSON ENGINEERING & CONSULTING, P.C. AND ANY DIRECTORS, OFFICERS, EMPLOYEES, SUBSIDIARIES, AND AFFILIATES, AS ADDITIONAL INSURED ON ALL POLICIES AND HOLD HARMLESS DOCUMENTS, AND SHALL STIPULATE THAT THIS INSURANCE IS PRIMARY AND THAT ANY OTHER INSURANCE OR SELF INSURANCE MAINTAINED BY INSURANCE BROKERS OR CONTRACTORS, P.C. WHICH EXCEEDS ONE YEAR SHALL NOT BE CALLED UPON TO CONTRIBUTE WITH THIS INSURANCE TO ANY ADDITIONAL INSURED INDEPENDENT FROM THE SCOPE OF THIS UNDERWRITING COVERAGE. INSURANCE POLICIES SHALL BE SUBMITTED TO HUDSON ENGINEERING & CONSULTING, P.C. FOR APPROVAL PRIOR TO THE SIGNING OF THE CONTRACT.
14. REGULATORY CODE BLUE 733. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE BLUE 733 REGULATIONS.

NOTES:

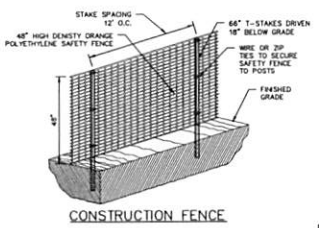
1. THE VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNDESIRABLE SILTATION AND EROSION OF DISTURBED SOILS.
2. ALL BUILT PLANS OF THE PROPOSED DRAINAGE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
3. BEFORE THE SITE PLAN IS SIGNED BY THE CHAIRMAN OF THE PLANNING BOARD, THE APPLICANT SHALL BE REQUIRED TO POST A PERFORMANCE BOND OR OTHER TYPE OF ACCEPTABLE MONETARY GUARANTEE WHICH SHALL BE IN AN AMOUNT DETERMINED BY THE PLANNING BOARD AND THE VILLAGE ENGINEER AND IN A FORM SATISFACTORY TO THE VILLAGE ATTORNEY.
4. THE APPLICANT SHALL NOTIFY THE BUILDING DEPARTMENT OR VILLAGE'S CONSULTING ENGINEER IN WRITING AT LEAST 48 HOURS BEFORE ANY OF THE FOLLOWING SO THAT AN INSPECTION MAY BE PERFORMED:
 - 4.1. START OF CONSTRUCTION.
 - 4.2. INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES.
 - 4.3. COMPLETION OF SITE CLEANING.
 - 4.4. COMPLETION OF ROUGH GRADING.
 - 4.5. INSTALLATION OF SPTS.
 - 4.6. COMPLETION OF FINAL GRADING AND STABILIZATION OF DISTURBED AREAS.
 - 4.7. CLOSURE OF CONSTRUCTION.
 - 4.8. COMPLETION OF FINAL LANDSCAPING AND
 - 4.9. SUCCESSFUL ESTABLISHMENT OF LANDSCAPING IN PUBLIC AREAS.

CONTRACTOR SHALL CONTACT DESIGN ENGINEER TO SCHEDULE A SITE INSPECTION PRIOR TO BACKFILLING INFILTRATION/ATTENUATION SYSTEM(S). SHOULD THE CONTRACTOR BACKFILL PRIOR TO INSPECTION, THE CONTRACTOR SHALL EXPOSE THE SYSTEM AT THEIR OWN EXPENSE.

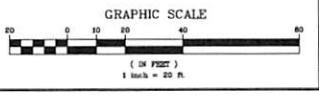
ANY ALTERATIONS OR DEVIATIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYLS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NY'S EDUCATION LAW.

INSTALLATION & MAINTENANCE OF EROSION CONTROL:

- CONSTRUCTION SCHEDULE:**
 NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.
- EROSION CONTROL MEASURES:**
 INITIAL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.
- INSPECTION BY MUNICIPALITY - FINAL GRADING:**
 MAINTENANCE TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION AFTER ANY RAIN CAUSING RUNOFF. CONTRACTOR TO PROVIDE HYDRAULS, ETC. AND REMOVE ANY EXCESSIVE SEDIMENT AND DEPOSIT STOCKPILES AND CORRECT ANY PROBLEMS WITH SEDIMENT CONTROL. INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.
- INSPECTION BY MUNICIPALITY - FINAL GRADING:**
 REMOVE UNNEEDED SUBGRADE FROM SITE. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.
- INSPECTION BY MUNICIPALITY - LANDSCAPING:**
 SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEED. HAND GRADE LEVEL BROADCAST 1/2 IN. BACK OF JOINTS WITH GREEN "PASTURE" MIX OR EQUAL. OVER AREA TO BE SEED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.
- INSPECTION BY MUNICIPALITY - FINAL LANDSCAPING:**
 GRASS ESTABLISHED. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.
- INSPECTION BY MUNICIPALITY - FINAL INSPECTION:**
 ALL EROSION CONTROL MEASURES REMOVED AND GRASS ESTABLISHED. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.



EXISTING INFORMATION SHOWN HEREON PROVIDED BY MG NEW YORK ARCHITECTS, PLLC.



PROJECT: PROPOSED PATIO 100 DANFORTH AVENUE VILLAGE OF DOBBS FERRY WESTCHESTER COUNTY - NEW YORK

STORMWATER MANAGEMENT PLAN

HUDSON ENGINEERING CONSULTING, P.C.
 1818 9th Street, Suite 201
 Westchester County, NY 10590
 Tel: 914.949.0410 Fax: 914.949.0498

DATE: 08/21/2013
 DRAWING NO: 13-001-001
 SHEET NO: 1 OF 1
 SCALE: AS SHOWN

HEC CONSULTING, P.C. 1818 9th Street, Suite 201 Westchester County, NY 10590

C-1

STORMWATER MANAGEMENT PLAN & DRAINAGE ANALYSIS

**Proposed Patio
100 Danforth Avenue
Village of Dobbs Ferry – New York**

August 31, 2021



Hudson Engineering & Consulting, P.C.
*45 Knollwood Road – Suite 201
Elmsford, NY 10523
(914) 909-0420*

**STORMWATER MANAGEMENT
PLAN & DRAINAGE ANALYSIS
100 Danforth Avenue
Village of Dobbs Ferry – New York**

INTRODUCTION

This Stormwater Management Plan presents the proposed Best Management Practices (BMPs) to control erosion and sedimentation and manage stormwater during and upon construction of proposed patio at 100 Danforth Avenue in the Village of Dobbs Ferry, Westchester County, New York.

This Plan consists of this narrative and a plan set entitled: “Proposed Patio, 100 Danforth Avenue, Village of Dobbs Ferry, Westchester County - New York”, all as prepared by Hudson Engineering and Consulting, P.C., Elmsford, New York, last revised August 31, 2021. The design is in accordance with the Village of Dobbs Ferry requirements. Since the project disturbance is less than one acre the New York State Department of Environmental Conservation [NYSDEC] stormwater regulations are not applicable.

METHODOLOGY

The stormwater analysis was developed utilizing the Soil Conservation Service (SCS) TR-20, 24-hour Type III storm events (HydroCad®) to assist with the design of the mitigating practices. The “Curve Number” (CN) value determination is based on soil type, vegetation and land use. The design is in accordance with the Village of Dobbs Ferry stormwater regulations. The “Time of Concentration” (T_c) was determined as a direct entry of one-minute. The CN and T_c data are input into the computer model. The project site was modeled for the 100-year Type III – 24-hour storm event.

PRE-DESIGN INVESTIGATIVE ANALYSIS

A pre-design investigative analysis was performed including percolation and deep tests in the location shown on the plans.

Percolation tests were completed as follows: A 36-inch deep hole was excavated and an 8-inch percolation test hole was excavated approximately 24 inches in the hole. A 4-inch diameter pipe was inserted into the percolation hole and backfilled around. The hole was pre-soaked for 24 hours prior to running the tests. The pipe was filled with 24 inches of water and monitored for 1 hour or until the test-hole completely drained, whichever came first. The runs were repeated for a minimum of 4 runs and a consistent percolation rate. Percolation tests were performed in the vicinity of the potential stormwater mitigation practice [TP-1] until a constant rate was achieved, the result as follows:

- TP-1: A percolation rate of 8.57-minutes per inch (7-inches per hour) was observed. A rate of 3-inches per hour was utilized in the design.

The percolation test data sheet is attached.

PRE-DEVELOPED CONDITION

In the pre-developed condition, the site is characterized as sloping from north to south. The soil classification, based upon Westchester County Soils Mapping is Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky, "B" soils. The site is located along the northwest side of Danforth Avenue. The site vegetation can be characterized as lawn and landscaped.

POST-DEVELOPED CONDITION

The project site was modeled as one watershed, *Watershed 1*, which contains an area of approximately 702 square feet of impervious area in the form of proposed patio. The CN value for this area is 98 and the Time of Concentration (T_c) is a direct entry of 1 minute. The runoff from this tributary area is conveyed via a comprehensive drainage system to gravel storage with a thickness of 12 inches and a footprint of 432 square feet. The system is designed to fully accept (no release) the entire stormwater runoff volume for the 100-year storm event from the watershed and ex-filtrate the runoff into the surrounding soil sub-strata.

EROSION AND SEDIMENT CONTROL COMPONENTS

The primary aim of the soil and sediment control measures is to reduce soil erosion from areas stripped of vegetation during and after construction and to prevent silt from reaching the off-site drainage structures and downstream properties. The Sediment and Erosion Control Components are an integral component of the construction sequencing and will be implemented to control sedimentation and re-establish vegetation.

Planned erosion and sedimentation control practices during construction include the installation, inspection and maintenance of the inlet protection, soil stockpile areas, and diversion swales and silt fencing. General land grading practices, including land stabilization and construction sequencing are also integrated into the Sediment and Erosion Control Plan. Dust control is not expected to be a problem due to the relatively limited area of exposure, the undisturbed perimeter of trees around the project area and the relatively short time of exposure. Should excessive dust be generated, it will be controlled by sprinkling.

All proposed soil erosion and sediment control practices have been designed in accordance with the following publications:

- New York State standards and Specifications for Erosion and Sediment Control, November 2016

- New York State General Permit for Stormwater Discharges, GP-0-20-001 (General permit).
- "Reducing the Impacts of Stormwater Runoff from New Development", as published by the New York State Department of Environmental Conservation (NYSDEC), second edition, April, 1993.

The proposed soil erosion and sediment control devices include the planned erosion control practices outlined below. Maintenance procedures for each erosion control practice have also been outlined below.

- **SILT FENCE**

Silt fence (geo-textile filter cloth) shall be placed in locations depicted on the approved plans. The purpose of the silt fence is to reduce the velocity of sediment laden stormwater from small drainage areas and to intercept the transported sediment load. In general, silt fence shall be used at the toe of slopes or intermediately within slopes where obvious channel concentration of stormwater is not present.

Maintenance

Silt fencing shall be inspected at a minimum of once per week and prior to and within 24 hours following a rain event $\frac{1}{2}$ " or greater. Inspections shall include ensuring that the fence material is tightly secured to the woven wire and the wire is secured to the wood posts. In addition, overlapping filter fabric shall be secured and the fabric shall be maintained a minimum of six (6) inches below grade. In the event that any "bulges" develop in the fence, that section of fence shall be replaced within 24 hours with new fence section. Any sediment build-up against the fence shall be removed within 24 hours and deposited on-site a minimum of 100 feet outside of any wetland or watercourse.

The installation of silt fencing will be maintained or replaced until the fencing is no longer necessary. Once the site is stabilized, all silt fences shall be removed. The immediate area occupied by the silt fence will be shaped to an acceptable grade and stabilized.

- **INLET PROTECTION**

After catch basins and surface inlets have been installed, these drain inlets will receive stormwater from the roadways, driveways, and surrounding overland watersheds. In order to protect the receiving waters from sedimentation, the contractor shall install stone and block inlet protection as shown on the plans. Once installed, $\frac{3}{4}$ inch stone aggregate shall be installed around the perimeter of all catch basins and surface inlets as illustrated on the approved plans. This barrier will allow stormwater to be filtered prior to reaching the basin inlet grate.

The stone barrier should have a minimum height of 1 foot and a maximum height of 2 feet. Do not use mortar. The height should be limited to prevent excess ponding and bypass flow. Recess the first course of blocks at least 2 inches below the crest opening of the storm drain for lateral support. Subsequent courses can be supported laterally if needed by placing a 2x4 inch wood stud through the block openings perpendicular to the course. The bottom row should have a few blocks oriented so flow can drain through the block to dewater the basin area. The stone should be placed just below the top of the blocks on slopes of 2:1 or flatter. Place hardware cloth of wire mesh with ½ inch openings over all block openings to hold stone in place.

As an optional design, the concrete blocks may be omitted and the entire structure constructed of stone, ringing the outlet (“doughnut”). The stone should be kept at a 3:1 slope toward the inlet to keep it from being washed into the inlet.

A level area 1 foot wide and four inches below the crest will further prevent wash. Stone on the slope toward the inlet should be at least 3 inches in size for stability and 1 inch or smaller away from the inlet to control flow rate. The elevation of the top of the stone crest must be maintained 6 inches lower than the ground elevation down slope from the inlet to ensure that all storm flows pass over the stone into the storm drain and not past the structure.

The barrier should be inspected after each rain event and repairs made within 24 hours. Remove sediment as necessary to provide for accurate storage volume for subsequent rains. Upon stabilization of contributing drainage area, remove all materials and any unstable soil and dispose of properly. Bring the disturbed area to proper grade, smooth, compact and stabilized in a manner appropriate to the site.

Maintenance

Stone Aggregate: The stone aggregate shall be inspected weekly prior to and within 24 hours following a rain event ½” or greater. Care shall be taken to ensure that all stone aggregate is properly located and secure and do not become displaced. The stone aggregate shall be inspected for accumulated sediments and any accumulated sediment shall be removed from the device and deposited not less than 100 feet from wetland or watercourse.

- **TREE PROTECTION**

All significant trees to be preserved located within the limits of disturbance and on the perimeter of the disturbance limits shall be protected from harm by erecting a 3’ high (minimum) snow fence completely surrounding the tree. Snow fence should extend to the drip-line of the tree to be preserved. Trees designated to be protected shall be identified during the staking of the limits of disturbance for each construction phase.

Maintenance

The snow fence shall be inspected daily to ensure that the perimeter of the fence remains at the drip-line of the tree to be preserved. Any damaged portions of the fence shall be repaired or replaced within 24 hours. Care shall also be taken to ensure that no construction equipment is driven or parked within the drip-line of the tree to be preserved.

- **SOIL/SHOT ROCK STOCKPILING**

All soil and shot rock stripped from the construction area during grubbing and mass grading shall be stockpiled in locations shown on the plans, but in no case shall they be placed within 100' of a wetland or watercourse. The stockpiled soils shall be re-used during finish-grading to provide a suitable growing medium for plant establishment. Soil stockpiles shall be protected from erosion by vegetating the stockpile with rapidly –germinating grass seed (during the May 1st – October 30th) planting season or covering the stockpile with tarpaulin the remainder of the year. Install silt fence around toe of slope.

Maintenance

Sediment controls (silt fence) surrounding the stockpiles shall be inspected according to the recommended maintenance outline above. *All stockpiles shall be inspected for signs of erosion or problems with seed establishment weekly or tarpaulin and prior to and within 24 hours following a rain event ½" or greater.*

- **GENERAL LAND GRADING**

The intent of the Erosion & Sediment Control Plan is to control disturbed areas such that soils are protected from erosion by temporary methods and, ultimately, by permanent vegetation. Where practicable, all cut and fill slopes shall be kept to a maximum slope of 2:1. In the event that a slope must exceed a 2:1 slope, it will be stabilized with stone riprap. On fill slopes, all material will be placed in layers not to exceed 12 inches in depth and adequately compacted. Diversion swales shall be constructed on the top of all fill embankments to divert any overland flows away from the fill slopes.

- **SURFACE STABILIZATION**

All disturbed areas will be protected from erosion with the use of vegetative measures (i.e., grass seed mix, sod) hydro mulch netting or hay. When activities temporarily cease during construction, soil stockpiles and exposed soil should be stabilized by seed, mulch or other appropriate measures within 7 days after construction activity has ceased, or 24 hours prior to a rain event ½" or greater.

All seeded areas will be re-seeded areas as necessary and mulched according to the site plan to maintain a vigorous, dense vegetative cover,

Erosion control barriers (silt fencing) shall be placed around exposed areas during construction. Where exposed areas are immediately uphill from a wetland or watercourse, the erosion control barrier will consist of double rows of silt fencing. Any areas stripped of vegetation during construction will be vegetated and/or mulch, but in no case more than 14 days to prevent erosion of the exposed soils. And topsoil removed during construction will be temporarily stockpiled for future use in grading and landscaping.

As mentioned above, temporary vegetation will be established to protect exposed soil areas during construction. If growing conditions are not suitable for the temporary vegetation, mulch will be used to the satisfaction of the Town Engineer. Materials that may be used for mulching include straw, hay, salt hay, wood fiber, synthetic soil stabilizers, mulch netting, sod or hydro mulch. In site areas where significant erosion potential exists (steep slopes) and where specifically directed by the Town's representative, Curlex Excelsior erosion control blankets (manufactured by American Excelsior, or approved equal) shall be installed. A permanent vegetative cover will be established upon completion of construction of those areas that have been brought to finish-grade and to remain undisturbed.

- **Temporary Stabilization(May 1st through October 31st planting season)**

The following seeding application should be used depending on the time of year.

- Spring/summer or early fall, seed the area with ryegrass (annual or perennial) at 30 lbs. per acre (Approximately 0.7 lb/1000 sq. ft. or use 1 lb/1000 sq. ft.).
- Late fall or early winter, seed Certified 'Aroostook' winter rye (cereal rye) at 100 lbs. per acre (2.5 lbs/1000 sq. ft.).

- **Permanent Stabilization(May 1st through October 31st planting season)**

1. Provide minimum of four (4) inches topsoil for all new lawn areas. Top dress all existing disturbed lawn areas with two (2) inches of topsoil.
2. Grass seed shall be evenly sown by mechanical seeder at a rate of 3.0-4.0 pounds per 1,000 square feet.
3. Fine rake, roll and water to a depth of one inch all seeded areas.
4. Apply air-dried hay or straw mulch to provide 90% coverage of surface (approximately 90 lbs. per 1,000 SF). Use small grain straw where mulch is maintained for more than three months

5. Contractor shall provide, at his own expense, protection against trespassing and other damage to lawn areas.
6. Lawn seed mix shall include:
 - a. General Recreation areas and lawns:
 - 65% Kentucky Bluegrass blend
 - 20% Perennial Rye
 - 15% Fine fescue

Sod may be used as an alternate to seeding in select areas.

Slow release fertilizers will be applied by hand to horticultural plantings as part of regular horticultural maintenance program and shall be limited to a single spring application.

CONSTRUCTION PRACTICES TO MINIMIZE STORMWATER CONTAMINATION

Adequate measures shall be taken to minimize contaminant particles arising from the discharge of solid materials, including building materials, grading operations, and the reclamation and placement of pavement, during project construction, including but not limited to:

- Building materials, garbage, and debris shall be cleaned up daily and deposited into dumpsters, which will be periodically removed from the site and appropriately disposed of.
- Dump trucks hauling material from the construction site will be covered with a tarpaulin.
- The paved street adjacent to the site entrance will be swept daily to remove excess mud, dirt, or rock tracked from the site.
- Petroleum products will be stored in tightly sealed containers that are clearly labeled.
- All vehicles on site will be monitored for leaks and receive regular preventive maintenance to reduce the chance of leakage.
- All spills will be cleaned up immediately upon discovery. Spills large enough to reach the storm system will be reported to the National Response Center at 1-800-424-8802.
- Materials and equipment necessary for spill cleanup will be kept in the temporary material storage trailer onsite. Equipment will include, but not be limited to, brooms, dust pans, mops, rags, gloves, goggles, kitty litter, sand, saw dust, and plastic and metal trash containers.

- All paint containers and curing compounds will be tightly sealed and stored when not required for use. Excess paint will not be discharged to the storm system, but will be properly disposed according to the manufacturer's instructions.
- Sanitary waste will be collected from portable units a minimum of two times a week to avoid overflowing.
- Any asphalt substances used on-site will be applied according to the manufacturer's recommendation.
- Fertilizers will be stored in a covered shed and partially used bags will be transferred to a sealable bin to avoid spills and will be applied only in the minimum amounts recommended by the manufacturer and worked into the soil to limit exposure to stormwater.
- No disturbed area shall be left un-stabilized for longer than 14 days during the growing season.
- When erosion is likely to be a problem, grubbing operations shall be scheduled and performed such that grading operations and permanent erosion control features can follow within 24 hours thereafter.
- As work progresses, patch seeding shall be done as required on areas previously treated to maintain or establish protective cover.
- Drainage pipes and swales/ditches shall generally be constructed in a sequence from outlet to inlet in order to stabilize outlet areas and ditches before water is directed to the new installation or any portion thereof, unless conditions unique to the location warrant an alternative method.

STORMWATER MANAGEMENT FACILITIES MAINTENANCE PROGRAM

The following maintenance plan has been developed to maintain the proper function of all drainage and erosion and sediment control facilities:

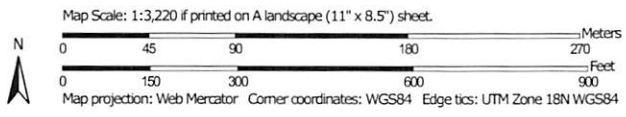
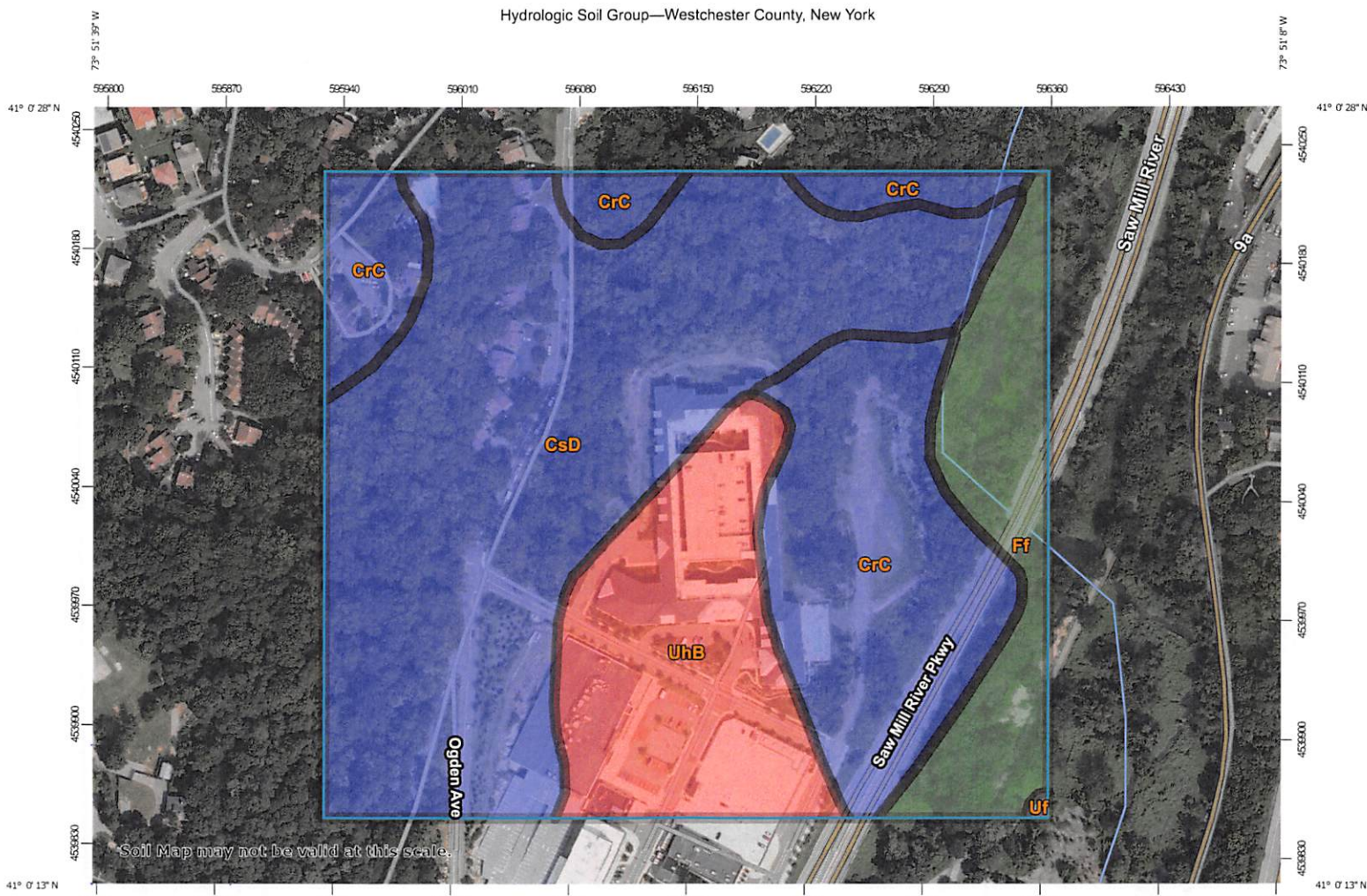
- Minimize the use of road salt for maintenance of driveway areas.
- Drainage inlets shall be vacuum swept twice a year, at the conclusion of the landscape season in the fall and at the conclusion of the sand and de-icing season in the spring. Inspect exfiltration/attenuation gallery for sediment and remove same if found.

The permanent maintenance program will be managed by the future homeowners upon completion of construction and acceptance of the improvements.

































CONCLUSION

The stormwater management plan proposed meets all the requirements set forth by the Village of Dobbs ferry. Design modification requirements that may occur during the approval process will be performed and submitted for review to the Village of Dobbs Ferry.

Soils Maps & Soils Data



MAP LEGEND

- Area of Interest (AOI)**
 -  Area of Interest (AOI)
- Soils**
 - Soil Rating Polygons**
 -  A
 -  A/D
 -  B
 -  B/D
 -  C
 -  C/D
 -  D
 -  Not rated or not available
 - Soil Rating Lines**
 -  A
 -  A/D
 -  B
 -  B/D
 -  C
 -  C/D
 -  D
 -  Not rated or not available
 - Soil Rating Points**
 -  A
 -  A/D
 -  B
 -  B/D
- Water Features**
 -  Streams and Canals
- Transportation**
 -  Rails
 -  Interstate Highways
 -  US Routes
 -  Major Roads
 -  Local Roads
- Background**
 -  Aerial Photography
- Other**
 -  C
 -  C/D
 -  D
 -  Not rated or not available

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.
 Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Westchester County, New York
 Survey Area Data: Version 16, Jun 11, 2020

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Aug 22, 2020—Sep 23, 2020

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
CrC	Charlton-Chatfield complex, 0 to 15 percent slopes, very rocky	B	10.0	24.6%
CsD	Chatfield-Charlton complex, 15 to 35 percent slopes, very rocky	B	19.3	47.5%
Ff	Fluvaquents-Udifuvents complex, frequently flooded	A/D	4.5	11.1%
Uf	Urban land		0.0	0.1%
UhB	Urban land-Charlton complex, 3 to 8 percent slopes	D	6.8	16.7%
Totals for Area of Interest			40.6	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

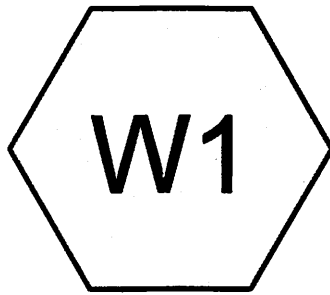
Rating Options

Aggregation Method: Dominant Condition

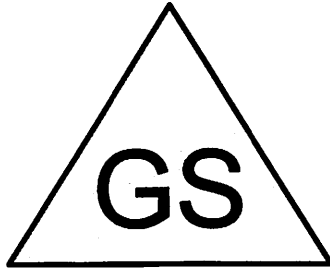
Component Percent Cutoff: None Specified

Tie-break Rule: Higher

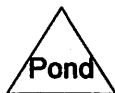
Post-Development Analysis of the 100-Year Storm Events



Watershed 1



Patio Underdrain Gravel
Storage



Proposed Conditions

Type III 24-hr 100-Year Rainfall=8.92"

Prepared by Hudson Engineering & Consulting

HydroCAD® 10.00-20 s/n 02549 © 2017 HydroCAD Software Solutions LLC

Summary for Subcatchment W1: Watershed 1

Runoff = 0.17 cfs @ 12.01 hrs, Volume= 507 cf, Depth= 8.68"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-60.00 hrs, dt= 0.01 hrs
Type III 24-hr 100-Year Rainfall=8.92"

Area (sf)	CN	Description
* 701	98	Proposed Patio
701		100.00% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
1.0					Direct Entry, Direct Entry

Summary for Pond GS: Patio Underdrain Gravel Storage

Inflow Area = 701 sf, 100.00% Impervious, Inflow Depth = 8.68" for 100-Year event
 Inflow = 0.17 cfs @ 12.01 hrs, Volume= 507 cf
 Outflow = 0.03 cfs @ 11.63 hrs, Volume= 507 cf, Atten= 82%, Lag= 0.0 min
 Discarded = 0.03 cfs @ 11.63 hrs, Volume= 507 cf

Routing by Stor-Ind method, Time Span= 0.00-60.00 hrs, dt= 0.01 hrs
 Peak Elev= 0.83' @ 12.41 hrs Surf.Area= 432 sf Storage= 108 cf

Plug-Flow detention time= 16.9 min calculated for 507 cf (100% of inflow)
 Center-of-Mass det. time= 16.9 min (752.2 - 735.3)

Volume	Invert	Avail.Storage	Storage Description
#1	0.00'	130 cf	Custom Stage Data (Prismatic) Listed below (Recalc) 432 cf Overall x 30.0% Voids

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
0.00	432	0	0
1.00	432	432	432

Device	Routing	Invert	Outlet Devices
#1	Discarded	0.00'	3.000 in/hr Exfiltration over Surface area

Discarded OutFlow Max=0.03 cfs @ 11.63 hrs HW=0.01' (Free Discharge)
 ↳1=Exfiltration (Exfiltration Controls 0.03 cfs)

Percolation & Deep Hole Test Logs



SITE ADDRESS: The Danforth

TOWN/VILLAGE: Dobbs Ferry

DATE: 8/25/2021 TIME: 2:00pm

WEATHER: Sunny TEMP. 90° F

WITNESSED BY: Nicholas Shirriah

PERCOLATION TEST HOLE DATA SHEET – STORMWATER MANAGEMENT SYSTEM

Owner _____

HOLE #	CLOCK TIME				PERCOLATION					
	Run No.	Start	Stop	Elapse Time (Min.)	Depth to Water From Ground Surface		Water Level in Inches Drop in inches	Soil Rate		
					Start Inches	Stop Inches		Min. per inch	Inches per Hour	
# <u>1</u>	1	2:40	3:40	60	22	32.5	10.5	5.71	10.5	
	2	3:40	4:40	60	22	31	9	6.67	9	
	4" Ø	3	4:40	5:40	60	22	29	7	8.57	7
		4	5:40	6:40	60	22	29	7	8.57	7
		5								
# _____	1									
	2									
	4" Ø	3								
		4								
		5								
# _____	1									
	2									
	4" Ø	3								
		4								
		5								

Notes:

- 1) Tests to be repeated at the same depth until approximately equal soil rates are obtained at each percolation test hole. All data to be submitted for review.
- 2) Depth measurements to be made from top of hole



MEMORANDUM

TO: Mayor Rossillo and Members of the Village Board of Trustees

FROM: Valerie Monastra, AICP

CC: Richard Leins, Esq. Village Administrator
Lori Lee Dickson Esq. Village Attorney
Ed Manley, Building Inspector

DATE: September 20, 2021

RE: 100 Danforth Avenue

The Applicant is seeking site plan approval to enlarge the existing open-air terrace by approximately 1,032 square feet. The property is located at 100 Danforth Avenue, Section Block and Lot 3.18-154-3.1 ("Project Site") and is located in the Chauncey Park (CP) zoning district.

GENERAL AND PROCEDURAL COMMENTS

1. **SEQR.** This application is categorized as a Type II under SEQR because it consists of the "construction or expansion of a primary or accessory/appurtenant, nonresidential structure or facility involving less than 4,000 square feet of gross floor area." No additional SEQR review is necessary.
2. **Site Plan Approval.** This application requires Site Plan approval by the Village Board of Trustees. A public hearing conducted by the Village Board will be required for Site Plan approval.
3. **Zoning.** The Applicant provided a zoning table demonstrating compliance with the Zoning chapter.
4. **County Board Referrals.** This project required a notification to the Westchester County Planning Board per Section 239 L, M and N of the New York State General Municipal Law as it is less than 5,000 square feet and within 500 feet of the Sawmill Parkway. An acknowledgement of the notification was received from the County in August. No further action from the Village is required.

- 5. Local Waterfront Revitalization Consistency.** The Village Board will need to make a consistency determination with the Village's LWRP per §300-52(D) as part of the final Site Plan approval. The Applicant has provided a Coastal Consistency Form.

This Application was before the Planning Board for a recommendation, and one was issued at the September 9, 2021, Planning Board meeting. The recommendation and supporting documentation are attached to the end of this memorandum.



VILLAGE OF DOBBS FERRY
112 Main Street
Dobbs Ferry, New York 10522
TEL: (914) 231-8500 • FAX: (914) 693-3470

RESOLUTION 13-2021

VILLAGE OF DOBBS FERRY PLANNING BOARD RECOMMENDATION RESOLUTION
Property: 100 Danforth Avenue (Section Block and Lot 3.18-154-3.1 and CP, Chauncey
Park Zoning District)

Background

WHEREAS, Lincoln Property Co ("Applicant") is seeking Site Plan approval to undertake an addition to enlarge the existing open-air terrace by approximately 1,032 square feet ("Project"). The subject property is located at 100 Danforth Avenue, Section Block and Lot 3.18-154-3.1 ("Project Site"). The Project Site is located in the Chauncey Park (CP) Zoning District; and

WHEREAS, this application requires Site Plan approval by the Village Board of Trustees and a recommendation by the Planning Board per Section 300-52 of the Zoning and Land Use chapter; and

WHEREAS, The Planning Board has carefully examined the application and the Applicant's materials as follows:

1. Site Plans prepared by MG New York Architects dated May 13, 2021:
 - a. A-000 Cover Sheet
 - b. A-001 Existing Survey
 - c. A-002 Existing Site Plan
 - d. A-100 Existing Part Plan at Area of Work
 - e. A-101 Enlarged Demo Plan at Area of Work
 - f. A-102 Existing Photos
 - g. A-103 Enlarged Proposed Plan
 - h. A-104 Details
 - i. A-105 Preliminary Planting Palette
2. Stormwater Management Plan by Hudson Engineering dated August 31, 2021
3. Planning Board application received July 22, 2021
4. Coastal Assessment Form received July 22, 2021

WHEREAS, the Planning Board has also reviewed and examined letters, reports, and memorandum from the Board's consulting engineer and planner; and

WHEREAS, the Planning Board conducted a duly noticed public hearing on September 9, 2021, at which time all those wishing to be heard were given the opportunity to be heard, and the public hearing was closed on September 9, 2021; and

WHEREAS, the Planning Board deliberated in public on the Applicant's request for recommendation.

Planning Board Determination

NOW, THEREFORE, BE IT RESOLVED, the Planning Board recommends the application for Site Plan approval with the following additional recommendations as set forth below:

1. The Village Board should require the Applicant to address to the full satisfaction of the Village Engineer, all outstanding stormwater, and engineering issues raised in the hearings and documents submitted to the Board, including the September 7, 2021, engineering review letter.

Motion by: Chairman Hunter

Seconded by: Mr. Hale

CHAIRMAN HUNTER	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
STEPHEN BROSNAHAN	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ROB LANE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
ALLEN HALE	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
LAURA HAUPT	<input checked="" type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input type="checkbox"/> ABSENT/EXCUSED
PETER WINDER, 1 ST ALTERNATE MEMBER	<input type="checkbox"/> AYE	<input type="checkbox"/> NAY	<input type="checkbox"/> ABSTAIN	<input type="checkbox"/> RECUSE	<input checked="" type="checkbox"/> ABSENT/EXCUSED
VOTE TOTALS	<input type="text" value="5"/> AYE	<input type="text" value="0"/> NAY	<input type="text" value="0"/> ABSTAIN	<input type="text" value="0"/> RECUSE	<input type="text" value="1"/> ABSENT/EXCUSED
RESULT:	MOTION: PASSES				

I hereby attest that the above Resolution was approved by the Planning Board at its September 9, 2021 meeting, and that I have been authorized to sign this Resolution by decision of the Planning Board.



Chairman Hunter

Date: September 9, 2021

MEMORANDUM (2)

TO: Stephen Hunter, Planning Board Chairman

CC: Planning Board Members
Richard Leins, Interim Village Administrator
Ed Manley, Building Inspector
Dan Pozin, Planning Board Attorney
Valerie Monastra, Village Planner

FROM: Anthony Oliveri, P.E.

DATE: September 7, 2021

RE: Site Plan Review
100 Danforth Avenue
Village of Dobbs Ferry

With regard to the above-mentioned project, this office has reviewed the following plans and submittals:

- Plans Sheet entitled: "Stormwater Management Plan," Prepared by Hudson Engineering and Consulting, dated 8/31/2021
- Stormwater Management Plan & Drainage Analysis prepared by Hudson Engineering & Consulting P.C. dated 8/31/2021

All of the engineering comments from the August 2, 2021, Memorandum #1 have been satisfactorily addressed.

Thank you

100 DANFORTH AVENUE - SITE PLAN APPLICATION – PUBLIC HEARING

WHEREAS, at the meeting on July 13, 2021 the Board of Trustees of the Village of Dobbs Ferry acknowledged receipt of an application by Lincoln Property Co. for site plan approval for property at 100 Danforth Avenue (SBL #3.180-154-3.1) in the CP “Chauncy Park”) Zoning District for the proposed 1,023 s.f. enlargement of an existing open-air raised terrace with related retaining wall and landscaping (the “Project”), declared itself Lead Agency for purposes of SEQRA, designated the Project as a Type II action, determined the Project would have no significant adverse environmental impacts and directed referral to the Dobbs Ferry and County Planning Boards and the AHRB; and

WHEREAS, the matter having now been returned to this Board’s agenda by the Dobbs Ferry Planning Board, it is necessary to schedule a public hearing in advance of further review and action.

NOW BE IT RESOLVED, that, the Board of Trustees of the Village of Dobbs Ferry hereby calls for a public hearing to be scheduled on Tuesday, October 12, 2021 at 6:30 p.m., or as soon thereafter as the matter may be heard, to receive public comment and consider the request for site plan approval for the Project at 100 Danforth Avenue.