

PROJECT DESCRIPTION

1. THIS PROJECT CONSISTS OF THE RESTORATION OF AN EXISTING C.1935 GARAGE STRUCTURE THAT IS IN DISREPAIR TO SERVE AS FOUR GARAGE SPACES AND STORAGE AND THE CONSTRUCTION OF A THREE STORY STRUCTURE AS AN ADDITION TO AN EXISTING THREE STORY STRUCTURE, CREATING A PORTION OF THE BUILDING WHICH WILL BE FOUR STORIES IN HEIGHT. THE NEW STRUCTURE WILL BE PHYSICALLY ATTACHED TO THE EXISTING BUILDING, AS AN ADDITION, RESULTING IN ONE PRIMARY BUILDING ON THE PROPERTY WITH THE EXISTING GARAGE AS AN ACCESSORY STRUCTURE. THE EXISTING BUILDING CURRENTLY HAS TWO DUPLEX RESIDENTIAL UNITS ABOVE A GROUND FLOOR LEVEL OF RETAIL STORES. THE RETAIL STORES WILL REMAIN AS IS, THE TWO EXISTING APARTMENTS WILL BE RECONFIGURED BUT REMAIN TWO DUPLEX UNITS. THE PROPOSED ADDITION WILL PROVIDE TWO ADDITIONAL DUPLEX UNITS, A STAIRCASE, ENTRY STRUCTURE WILL BE INTEGRAL TO THE ADDITION, PROVIDING ACCESS TO THE NEW UNITS AND TO THE EXISTING UNITS. FOUR PARKING SPACES WILL BE PROVIDED ON SITE IN THE RESTORED GARAGE AND THE EXISTING CURBSIDE PARKING PROVIDING THE OTHER TWO REQUIRED PARKING SPACES.

GENERAL NOTES

2. THESE NOTES PERTAIN TO THE ATTACHED DRAWINGS.
3. THESE DRAWINGS, TOGETHER WITH THE SPECIFICATIONS AND CONTRACT FOR CONSTRUCTION, COMPRISE THE CONTRACT DOCUMENTS FOR THIS PROJECT.
4. THE DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED AS COMPLEMENTARY. ALL LABOR, MATERIALS, EQUIPMENT, AND APPURTENANCES NECESSARY FOR THE EXECUTION OF THE WORK, IF SHOWN ON THE DRAWINGS BUT NOT DESCRIBED IN THE SPECIFICATIONS, OR IF DESCRIBED IN THE SPECIFICATIONS BUT NOT SHOWN ON THE DRAWINGS, AND ANY WORK WHICH IS NECESSARY TO COMPLETE THE WORK WITHIN THE LIMITS ESTABLISHED BY THE DRAWINGS AND SPECIFICATIONS, IS TO BE EXECUTED IN THE SAME MANNER AS THE OTHER PORTIONS OF THE CONTRACT. FOR VERIFICATION CONTACT GOTHAM DESIGN.
5. ALL CONSTRUCTION WORK MUST BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES, BUILDING CODES, AND REQUIREMENTS OF THE VILLAGE OF DOBBS FERRY, THE COUNTY OF WESTCHESTER, THE STATE OF NEW YORK, THE FEDERAL GOVERNMENT, AND ALL OTHER AUTHORITIES HAVING JURISDICTION OVER THE WORK TO BE PERFORMED.

6. ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH THE NEW YORK STATE BUILDING CODE, LATEST EDITION.
7. EACH CONTRACTOR PERFORMING WORK ON THIS PROJECT IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THEIR WORK, FOR COORDINATING AND SCHEDULING ALL REQUIRED INSPECTIONS OF THEIR WORK, AND OBTAINING ALL REQUIRED APPROVALS OF THEIR WORK FROM ALL AUTHORITIES HAVING JURISDICTION.

BUILDING CODE CRITERIA

8. CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA
GROUND SNOW LOAD: 30 LBS. WIND SPEED: 110 MPH SEISMIC DESIGN CATEGORY: D
WEATHERING: SEVERE FROST LINE DEPTH: 42 INCH MINIMUM THERMITE: MEDIUM TO HEAVY
DECAY: SLIGHT TO MEDIUM WINTER DESIGN TEMP: 2 DEGREES
ICE SHIELD UNDERLAYMENT REQUIRED: YES
FLOOD HAZARDS: FEMA MAP COMMUNITY PANEL NUMBER 360908 0001 C EFFECTIVE DATE: APRIL16, 1979
9. CONSTRUCTION TYPE: TYPE 5A - COMBUSTIBLE
10. OCCUPANCY: GROUP R-2: APARTMENT / B BUSINESS / M MERCANTILE
11. FIRE RATINGS: EXTERIOR BEARING WALLS 1 HOUR
INTERIOR BEARING WALLS 1 HOUR
FLOOR CONSTRUCTION 1 HOUR (UL No. L537)
ROOF CONSTRUCTION 1 HOUR

ALL NEW INTERIOR SPACES WILL HAVE AN AUTOMATIC FIRE SPRINKLER SYSTEM
ALL INTERIOR AND EXTERIOR BEARING WALL, FLOOR, AND ROOF ASSEMBLIES SHALL BE FIRE BLOCKED AS REQUIRED BY CODE.

12. DESIGN LOADS: ROOF DL = 10 PSF LL = 45 PSF
FLOOR DL = 25 PSF LL = 40 PSF

13. TAPE AND COMPOUND ALL INSIDE GYPSUM BOARD CORNERS; CORNER BEAD AND COMPOUND ALL OUTSIDE GYPSUM BOARD CORNERS; J-BEAD AND COMPOUND ALL TERMINATION EDGES OF GYPSUM BOARD WHERE EXPOSED. ALL GYPSUM BOARD WORK IS TO BE IN ACCORDANCE WITH GYPSUM CONSTRUCTION HANDBOOK, UNITED STATES GYPSUM, LATEST EDITION.

SCOPE OF WORK

14. THE CONTRACTOR IS TO FURNISH AND INSTALL ALL MATERIALS, EQUIPMENT, AND LABOR REQUIRED FOR COMPLETION OF THIS PROJECT AS INDICATED ON THE CONTRACT DOCUMENTS EXCEPT AS IDENTIFIED AS EXCLUDED IN THE SPECIFICATIONS OR NOTED AS NIC (NOT IN CONTRACT) ON THE DRAWINGS.
15. THE ONLY ITEMS TO BE EXCLUDED FROM THE BID PRICE FOR THE CONTRACTED SCOPE OF WORK ARE THOSE IDENTIFIED IN THE BID DOCUMENTS AND IN THE SPECIFICATIONS.
16. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THE QUALITY STANDARDS IDENTIFIED IN THE CORRESPONDING SECTION OF THE SPECIFICATIONS.
17. EACH CONTRACTOR IS TO FURNISH ALL MATERIALS, LABOR, TOOLS, MACHINERY, SCAFFOLDING, EQUIPMENT, APPURTENANCES, AND APPLIANCES NECESSARY FOR THE PROPER HANDLING AND EXECUTION OF THE WORK.
18. EACH CONTRACTOR WILL HANDLE AND STORE THE MATERIALS IN A SECURED AREA, PROTECTED FROM ADVERSE CONDITIONS, IN ACCORDANCE WITH THE MANUFACTURERS' INSTRUCTIONS, SO AS TO MAINTAIN A SAFE AND SECURE WORK SITE, AND SO AS TO PROTECT THE PREMISES AND MATERIALS FROM DAMAGE OR DETRIORATION.

SITE WORK

19. ALL SITE WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS INCLUDING THE SPECIFIC REQUIREMENTS OF THE VILLAGE OF DOBBS FERRY BUILDINGS DEPARTMENT.
20. STORM WATER RUNOFF FROM THE PROPOSED ROOF AREAS WILL BE COLLECTED IN ROOF GUTTERS. THESE GUTTERS WILL CONNECT VIA DOWNSPOUTS TO THE EXISTING STORM DRAINAGE SYSTEM.
21. ALL EXCAVATED MATERIAL, EXCEPT THAT WHICH WILL BE REQUIRED FOR BACKFILLING, WILL BE REMOVED FROM THE SITE AS SOON AS PRACTICAL. IF STOCKPILING IS NECESSARY, MATERIAL MAY ONLY BE PLACED WHERE INDICATED BY GOTHAM DESIGN AND MUST BE PROTECTED TO PROHIBIT EROSION OR SEDIMENTATION INTO THE EXISTING STREAM, TO ADJACENT PROPERTIES, PUBLIC STREETS, OR SIDEWALKS, AND MAY NOT BE PLACED UNDER THE CANOPY OF TREES.
22. ALL EXISTING TREES ON THE PROPERTY SHALL BE PROTECTED AT ALL TIMES AND TEMPORARY FENCING WILL BE INSTALLED AROUND TREES ADJACENT TO THE WORK AREA AT THE DRIP LINE.
23. NO MATERIALS OR DEBRIS MAY BE STOCKPILED WITHIN THE DRIP LINE OF ANY TREE AT ANY TIME.
24. IN THE EVENT IT BECOMES NECESSARY TO REMOVE ANY TREES ON THE PROPERTY, ALL REQUIRED REMOVAL PERMITS SHALL BE OBTAINED PRIOR TO ANY TREE BEING JEOPARDIZED.

COORDINATION

25. USE LABELED DIMENSIONS ONLY. DO NOT SCALE DIMENSIONS FROM THE DRAWINGS. FOR CLARIFICATION, CONTACT GOTHAM DESIGN.
26. IN THE EVENT OF DIMENSIONAL DISCREPANCIES, CONFLICTS OR MISSING DIMENSIONS, CONTACT GOTHAM DESIGN FOR VERIFICATION PRIOR TO PROCEEDING WITH THE WORK.
27. IN THE EVENT OF DISCREPANCIES OR CONFLICTS BETWEEN THE EXISTING CONDITIONS, CONSTRUCTION CONDITIONS, AND THE CONTRACT DOCUMENTS, CONTACT GOTHAM DESIGN FOR VERIFICATION PRIOR TO PROCEEDING WITH THE WORK.
28. THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE LOCATION OF ALL FRAMING MEMBERS AND SYSTEMS TO BE INSTALLED INCLUDING PLUMBING, HEATING, AIR CONDITIONING, ELECTRICAL, FIXTURES AND OTHER EQUIPMENT TO AVOID CONFLICTS AND UNNECESSARY OR EXCESSIVE NOTCHING, CUTTING, OR OTHER DISTURBANCE OF STRUCTURAL COMPONENTS.
29. DO NOT CLOSE-OFF OR OBSTRUCT DRIVEWAYS, STREETS, WALKS, OR OTHER FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, AS REQUIRED BY GOVERNING REGULATIONS.

30. CONDUCT DEMOLITION AND REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES AND TO AVOID DISTURBANCE TO THE EXISTING RESIDENCE.
31. ALL CONTRACTORS FURNISHING WORK MUST COOPERATE WITH THE OWNER AND WITH EACH OTHER TO MAINTAIN AN EFFICIENT AND SAFE JOB SITE.

32. MAINTAIN EXISTING UTILITIES. DO NOT DISRUPT UTILITY SERVICES TO THE EXISTING RESIDENCE WITHOUT APPROPRIATE AUTHORIZATION FROM UTILITY COMPANIES. IF DISRUPTION OF UTILITIES IS NECESSARY, PROVIDE TEMPORARY SERVICE AS REQUIRED. IN THE EVENT UTILITIES MUST BE DISCONNECTED AND SERVICES INTERRUPTED, CONTRACTOR MUST PROVIDE 48 HOUR ADVANCE NOTICE TO THE OWNER AND OTHER CONTRACTORS FURNISHING SERVICES.
33. CONTRACTORS FURNISHING WORK MUST PROTECT ADJACENT EXISTING SURFACES AND NEW WORK AT ALL TIMES. DAMAGES MUST BE CORRECTED IN A TIMELY FASHION AT THE REQUEST OF THE OWNER OR OTHER CONTRACTORS. EACH CONTRACTOR IS RESPONSIBLE FOR PROTECTING THEIR WORK UNTIL ACCEPTANCE BY THE OWNER.

DISPUTES

34. GOTHAM DESIGN HAS THE AUTHORITY TO NEGOTIATE SETTLEMENTS IN DISPUTES CONCERNING THE OBLIGATIONS OR WORK TO BE PERFORMED EITHER BETWEEN THE CONTRACTORS OR BETWEEN THE CONTRACTORS AND THE OWNER.
35. GOTHAM DESIGN HAS THE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS. WORK REJECTED BY GOTHAM DESIGN DUE TO FAILURE TO CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS MUST BE CORRECTED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
36. IN MATTERS REGARDING THE QUALITY, QUANTITY, AND AESTHETIC EFFECT OF THE WORK, GOTHAM DESIGN'S DECISIONS WILL BE CONSIDERED FINAL.

ERRORS AND OMISSIONS

37. THE CONTRACTOR IS RESPONSIBLE TO THE OWNER FOR ERRORS AND OMISSIONS IN THE WORK AND FOR FAILURE TO PERFORM IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
38. THE CONTRACTOR'S SERVICES MUST BE PERFORMED IN A SKILLFUL AND COMPETENT MANNER IN ACCORDANCE WITH ACCEPTED STANDARDS OF THE CONSTRUCTION INDUSTRY AND WITH THE REQUIREMENTS OF THOSE AGENCIES HAVING JURISDICTION OR OTHERWISE IDENTIFIED IN THE SPECIFICATIONS.
39. THE CONTRACTOR WILL PROVIDE ALL WORK DETERMINED BY GOTHAM DESIGN TO BE MISSING OR INCOMPLETE. WORK DETERMINED BY GOTHAM DESIGN TO BE MISSING OR INCOMPLETE MUST BE FURNISHED AND COMPLETED BY THE CONTRACTOR WITHOUT ADDITIONAL EXPENSE TO THE OWNER.
40. THE CONTRACTOR MUST REPLACE ALL WORK DETERMINED BY GOTHAM DESIGN TO BE INSTALLED IMPROPERLY OR SUBSTANDARD WITHOUT ADDITIONAL EXPENSE TO THE OWNER.

CHANGES

41. ANY CHANGES IN THE ACCEPTED CONTRACT DOCUMENTS OR IN THE COMPLETED WORK WHICH WILL EFFECT THE SCOPE OF WORK, QUALITY AND AESTHETIC EFFECT OF THE WORK, OR THE CONTRACT PRICE REQUIRES A CHANGE ORDER APPROVED BY GOTHAM DESIGN. THIS CHANGE ORDER MUST FIRST BE SUBMITTED TO THE OWNER FOR REVIEW AND APPROVAL PRIOR TO BEING EXECUTED BY THE CONTRACTOR.
42. NO CHANGES, ALTERATIONS, OR MODIFICATIONS TO THE DESIGN, THE CONTRACT DOCUMENTS, OR THE PROPOSED OR COMPLETED WORK ARE PERMISSIBLE BY ANY PARTY, INCLUDING THE OWNER AND THE CONTRACTOR, WITHOUT A WRITTEN CHANGE ORDER APPROVED BY GOTHAM DESIGN.

SUBSTITUTIONS

43. SUBSTITUTIONS OF MATERIALS, PRODUCTS, OR METHODS ARE PERMISSIBLE ONLY WITH PRIOR WRITTEN AUTHORIZATION FROM GOTHAM DESIGN.
44. GOTHAM DESIGN WILL CONSIDER REQUESTS FOR SUBSTITUTIONS UP TO FIVE DAYS PRIOR TO INITIATION OF WORK.

CLEAN UP

45. CONTRACTOR SHALL PROTECT THE EXISTING RESIDENCE FROM DUST INFILTRATION AND DAMAGE FROM DEBRIS WITH TEMPORARY BARRIERS AND PROTECTION BOARDS.
46. EACH CONTRACTOR IS RESPONSIBLE FOR CLEANING THEIR WORK AREAS AND REMOVING ALL DEBRIS ASSOCIATED WITH THEIR WORK FROM THE PREMISES AT THE END OF EACH WORK DAY. ALL DEBRIS MUST BE DISPOSED OF IN ACCORDANCE WITH ALL REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
47. EACH CONTRACTOR IS RESPONSIBLE FOR MAKING SURE THAT THEIR WORK AREA IS LEFT BROOM CLEAN AT THE END OF EACH WORK DAY.

SAFETY REQUIREMENTS

48. EACH CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE SAFETY REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION INCLUDING OSHA.
49. EACH CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL LADDERS, SCAFFOLDS, OR OTHER EQUIPMENT USED UNDER THEIR JURISDICTION AND IN CONNECTION WITH THEIR WORK.

RESPONSIBILITY

50. EACH CONTRACTOR AND SUBCONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR ALL ACCIDENTS RESULTING IN INJURY TO PERSONS OR DAMAGE TO PROPERTY CAUSED BY THE FAULT OR NEGLIGENCE OF THEMSELVES, THEIR AGENTS, EMPLOYEES, OR SUBCONTRACTORS.
51. EACH CONTRACTOR IS RESPONSIBLE FOR ALL PROPERTY INCLUDING MATERIALS, EQUIPMENT, TOOLS, AND APPURTENANCES DELIVERED TO THE JOB SITE UNDER THEIR JURISDICTION AND IN CONNECTION WITH THEIR WORK WHICH IS STOLEN FROM THE PROPERTY OR DAMAGED ON THE PREMISES.
52. EACH CONTRACTOR INDEMNIFIES AND HOLDS THE OWNER AND GOTHAM DESIGN HARMLESS FROM ALL LIABILITIES AND LOSS BECAUSE OF INJURY TO ANY PERSON OR DAMAGE TO ANY PROPERTY THAT MAY OCCUR OR MAY BE ALLEGED TO HAVE OCCURRED DURING THE PERFORMANCE OF THE WORK AS A RESULT, EITHER DIRECTLY OR INDIRECTLY, OF THE CONTRACTOR'S FAULT OR NEGLIGENCE OR THAT OF THEIR AGENTS, EMPLOYEES, OR SUB CONTRACTORS AND WHETHER OR NOT SUCH INJURY OR DAMAGE IS ALSO ATTRIBUTABLE TO THE OWNER'S FAULT OR NEGLIGENCE.
53. GOTHAM DESIGN AND ITS CONSULTANTS HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE JOB SITE INCLUDING, BUT NOT LIMITED TO, ASBESTOS PRODUCTS, POLYCHLORIDE BIPHENYL (PCB), LEAD, OR OTHER TOXIC SUBSTANCES.

54. IN THE EVENT THAT THE CONTRACTOR DISCOVERS HAZARDOUS MATERIALS ON THE SITE, ALL WORK SHALL BE HALTED IMMEDIATELY AND THE REMOVAL OR CONTAINMENT OF THE HAZARDOUS MATERIAL SHALL BE CONDUCTED IN STRICT COMPLIANCE WITH THE REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION.
55. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING PROPER HANDLING METHODS FOR ALL MATERIALS ON THE SITE AND FOR INSTRUCTING ALL WORKERS IN PRECAUTIONS, RISKS, AND REQUIREMENTS FOR THE PROPER HANDLING OF POTENTIALLY HAZARDOUS MATERIALS IN ACCORDANCE WITH ALL AUTHORITIES HAVING JURISDICTION INCLUDING, BUT NOT LIMITED TO, OSHA.

INSURANCE

56. EACH CONTRACTOR AND SUBCONTRACTOR MUST OBTAIN AND MAINTAIN AN ACCIDENT AND PUBLIC LIABILITY INSURANCE POLICY FOR THIS PROJECT COVERING FROM COMMENCEMENT THROUGH COMPLETION OF ALL WORK. EACH CONTRACTOR AND SUBCONTRACTOR MUST FURNISH A BINDER TO THE OWNER FROM THE CONTRACTOR'S INSURANCE AGENT INDICATING THE TYPE AND AMOUNTS OF COVERAGE. THE MUNICIPALITY, THE OWNER, AND GOTHAM DESIGN SHALL BE NAMED AS "ADDITIONAL INSURED" ON THE BINDER.
57. BY ACCEPTING THE CONTRACT TO WORK ON THIS PROPERTY, THE CONTRACTOR AGREES TO DEFEND, INDEMNIFY, KEEP, AND SAVE HARMLESS THE OWNER, THE PROPERTY, AND GOTHAM DESIGN AND THEIR REPRESENTATIVES, AGENTS AND EMPLOYEES IN BOTH INDIVIDUAL AND OFFICIAL CAPACITIES AGAINST ALL SUITS, CLAIMS, DAMAGES, LOSSES, AND EXPENSES INCLUDING ATTORNEY'S FEES, CAUSED BY, RELATED TO, OR INCIDENTAL TO THE PERFORMANCE OF THE WORK UNDER THE CONTRACT BY THE CONTRACTOR OR ITS SUBCONTRACTORS UP TO THE FULL EXTENT WHICH WOULD OTHERWISE RENDER THESE PROVISIONS VOID OR UNENFORCEABLE.

58. EACH CONTRACTOR AND SUBCONTRACTOR MUST PROVIDE AND MAINTAIN WORKER'S COMPENSATION INSURANCE IN ACCORDANCE WITH NEW YORK STATE REQUIREMENTS FOR ALL EMPLOYEES FURNISHING LABOR FOR THIS PROJECT. NO ONE MAY WORK ON THIS PROJECT WITHOUT BEING COVERED BY WORKER'S COMPENSATION INSURANCE. THE WORKER'S COMPENSATION POLICY SHALL BE INCLUDED ON THE INSURANCE BINDER.
59. CERTIFICATES OF INSURANCE ACCEPTABLE TO THE OWNER MUST BE FILED WITH THE OWNER PRIOR TO COMMENCEMENT OF THE WORK.
60. THE OWNER MUST OBTAIN AND MAINTAIN LIABILITY INSURANCE AS WILL PROTECT HIM FROM HIS CONTINGENT LIABILITY FOR INJURY AND DAMAGES WHICH MAY ARISE DURING THE WORK OF THIS PROJECT AND FROM ANY OTHER LIABILITY FOR WHICH THE CONTRACTORS ARE REQUIRED TO BE INSURED UNDER THE PROVISIONS OF THE CONTRACT.
61. THE OWNER MUST OBTAIN AND MAINTAIN FIRE INSURANCE INCLUDING EXTENDED COVERAGE AND MALICIOUS MISCHIEF COVERAGE ON THE STRUCTURE AND CONTENTS TO 100 PERCENT OF THE INSURABLE VALUE THEREOF, PROTECTING THE OWNER'S INTEREST. THE CONTRACTORS' INTERESTS, AND THE SUBCONTRACTORS' INTERESTS, AS USED HEREIN, INCLUDES EACH PARTY'S PROPERTY AND THE PROPERTY OF OTHERS FOR WHICH THEY ARE RESPONSIBLE, INCLUDING ALL MATERIALS, EQUIPMENT, AND SUPPLIES.

WAIVER OF LIENS

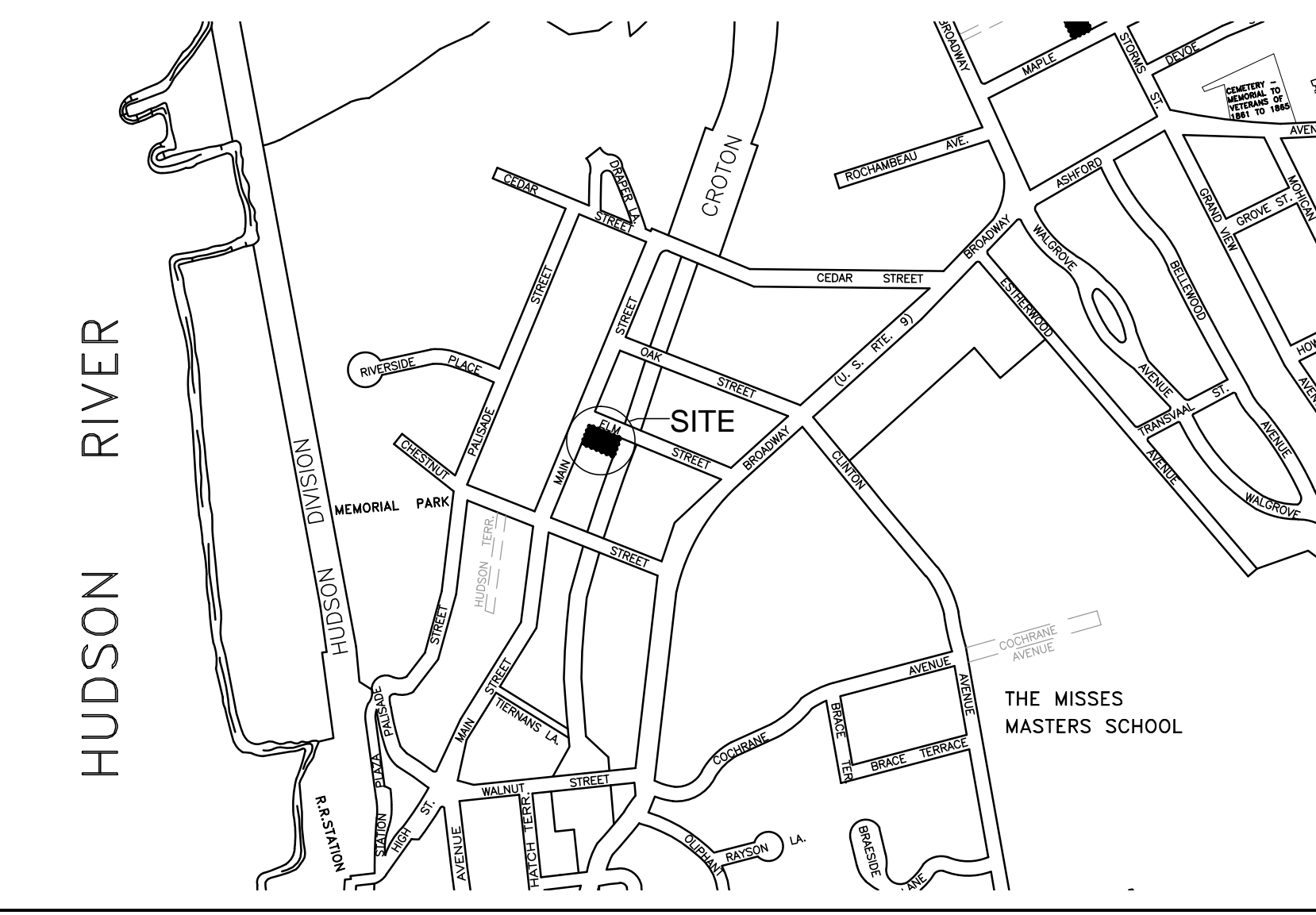
62. EACH CONTRACTOR IS RESPONSIBLE FOR PROVIDING A WAIVER OF LIEN TO THE BENEFIT OF THE OWNER IN A FORM ACCEPTABLE TO GOTHAM DESIGN COVERING ALL LABOR, MATERIALS, AND OTHER EXPENSES AT THE TIME COMPENSATION IS RECEIVED FOR SAME.
63. SUBSEQUENT PAYMENTS TO CONTRACTORS WILL NOT BE PAID UNTIL AN ACCEPTABLE WAIVER OF LIENS HAS BEEN RECEIVED FOR PREVIOUS WORK OF THE SAME CONTRACTOR.
64. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING WAIVERS OF LIENS FROM ALL SUPPLIERS AND SUBCONTRACTORS FURNISHING LABOR AND MATERIALS THROUGH THE GENERAL CONTRACTOR.
65. A RELEASE OF ALL LIENS TO THE BENEFIT OF THE OWNER IN A FORM ACCEPTABLE TO GOTHAM DESIGN SHALL BE PROVIDED BY THE CONTRACTOR AT THE TIME OF FINAL PAYMENT.

CERTIFICATION

66. I HAVE REVIEWED THESE DRAWINGS THOROUGHLY AND, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE DRAWINGS CONFORM TO AND COMPLY WITH THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE, THE NEW YORK STATE ENERGY CODE, AND THE REQUIREMENTS AND CODES OF ALL AUTHORITIES HAVING JURISDICTION.

SIRUS MANDOABI LICENSED ENGINEER
STATE OF NEW YORK LICENSE NO. 100618

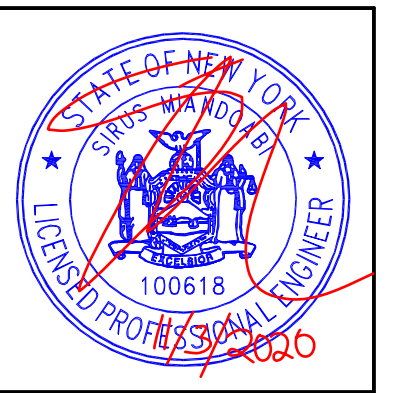
Table with columns: OWNER NAME, PROPERTY ADDRESS, APT, CITY, ZIP, PRINT KEY, PROP SBL. Lists various property owners and addresses in Dobbs Ferry, NY.



SITE LOCATION MAP NOT TO SCALE

AERIAL LOCATION MAP NOT TO SCALE

LIST OF DRAWINGS table with columns: Drawing ID, Title, and dates for submission to various boards (Trustees, Planning Board, etc.).



Integral Engineering Services
27 Main Street
Dobbs Ferry, NY 10522
914-274-8874
914-774-0343
info@integraleng.com
www.integraleng.com

PROJECT TITLE: 100 MAIN STREET DOBBS FERRY, NY 10522
PROJECT NO.: 0805

GOTHAM DESIGN AND COMMUNITY DEVELOPMENT LTD.

329 Broadway
Dobbs Ferry, N.Y. 10522
Phone: (914) 693-5093
Fax: (914) 693-5390
email: arch329@gmail.com

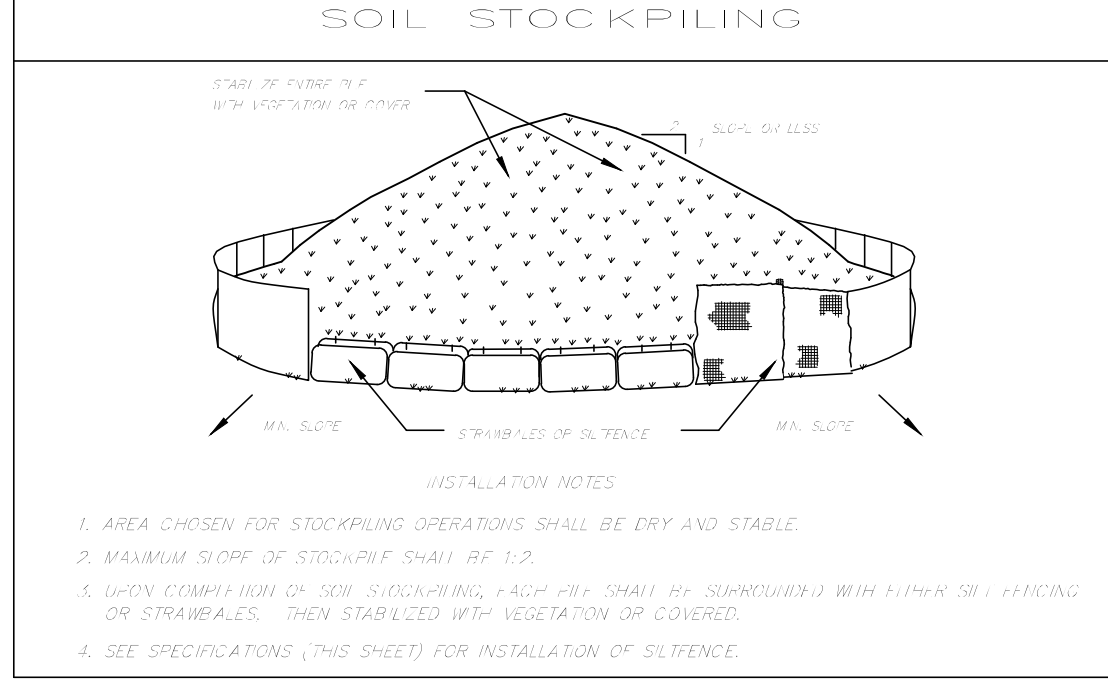
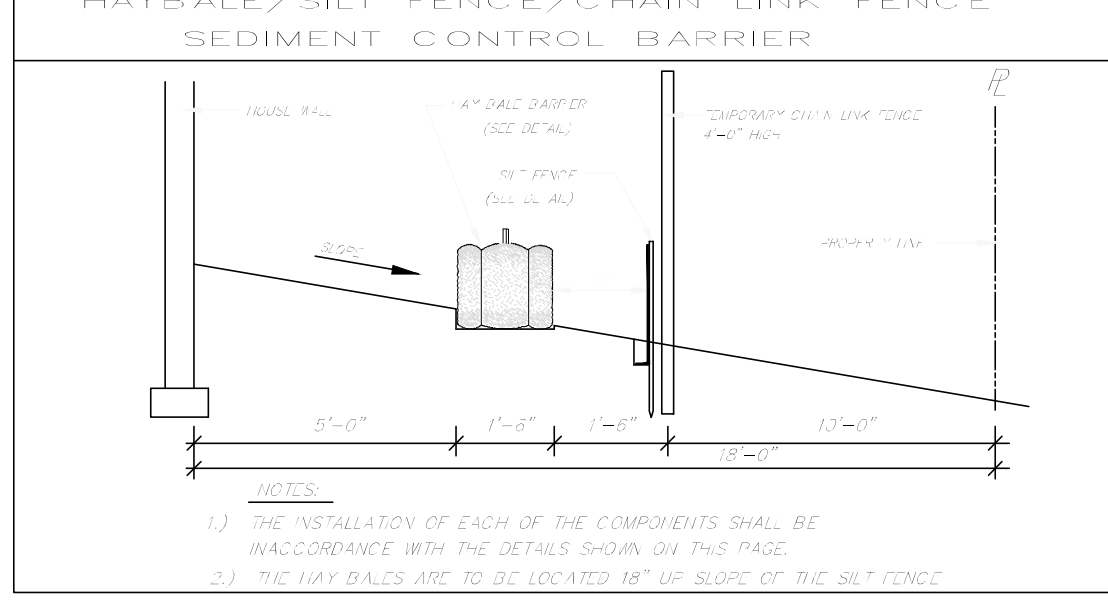
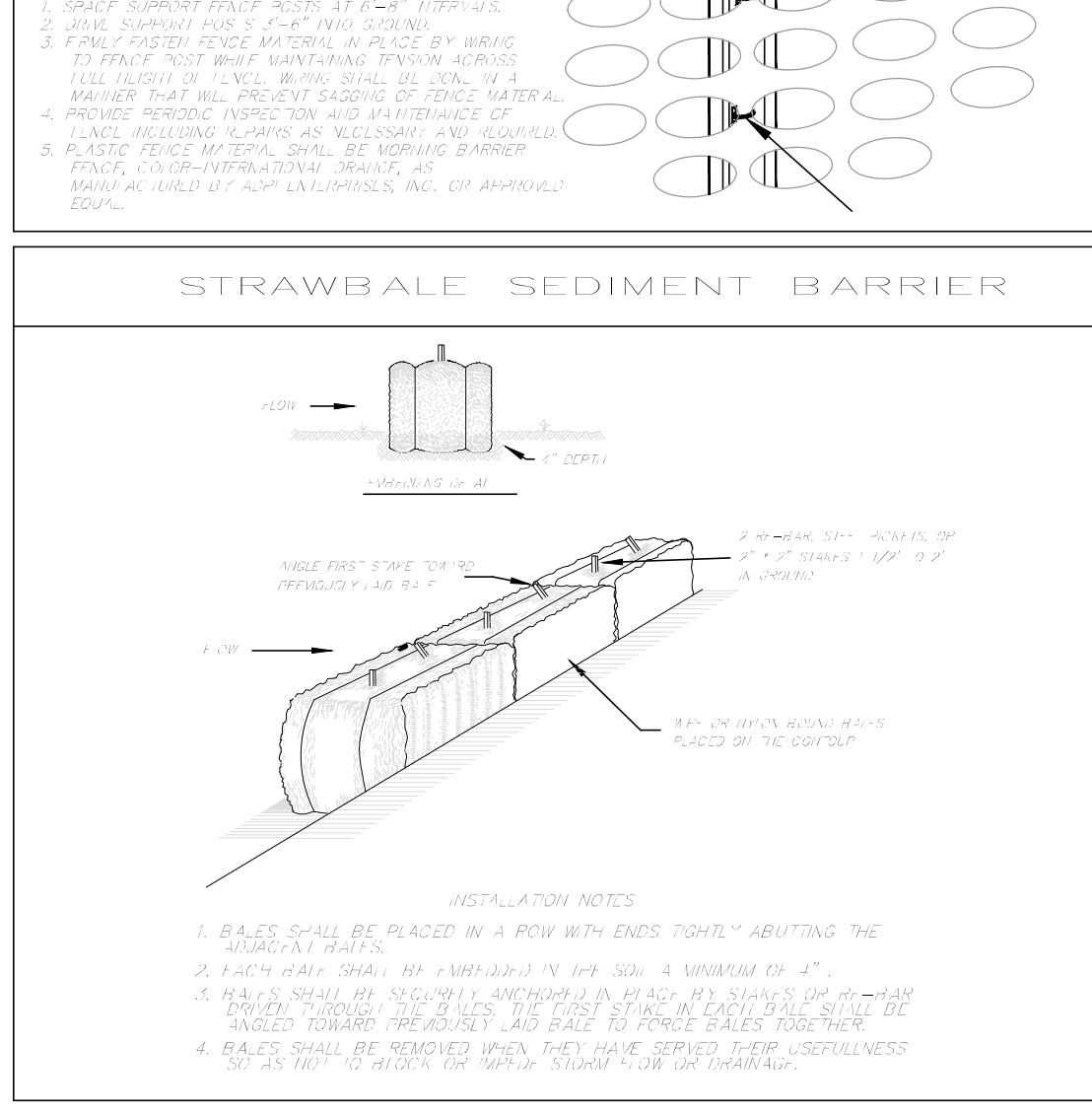
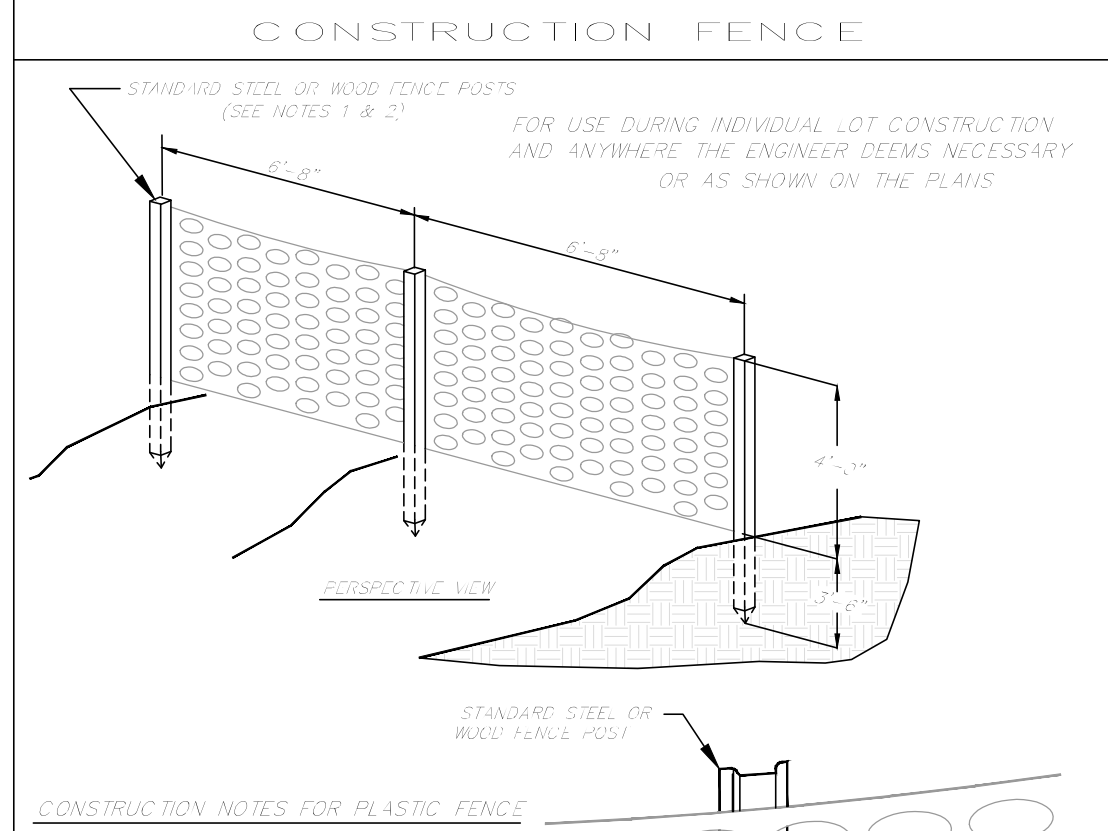
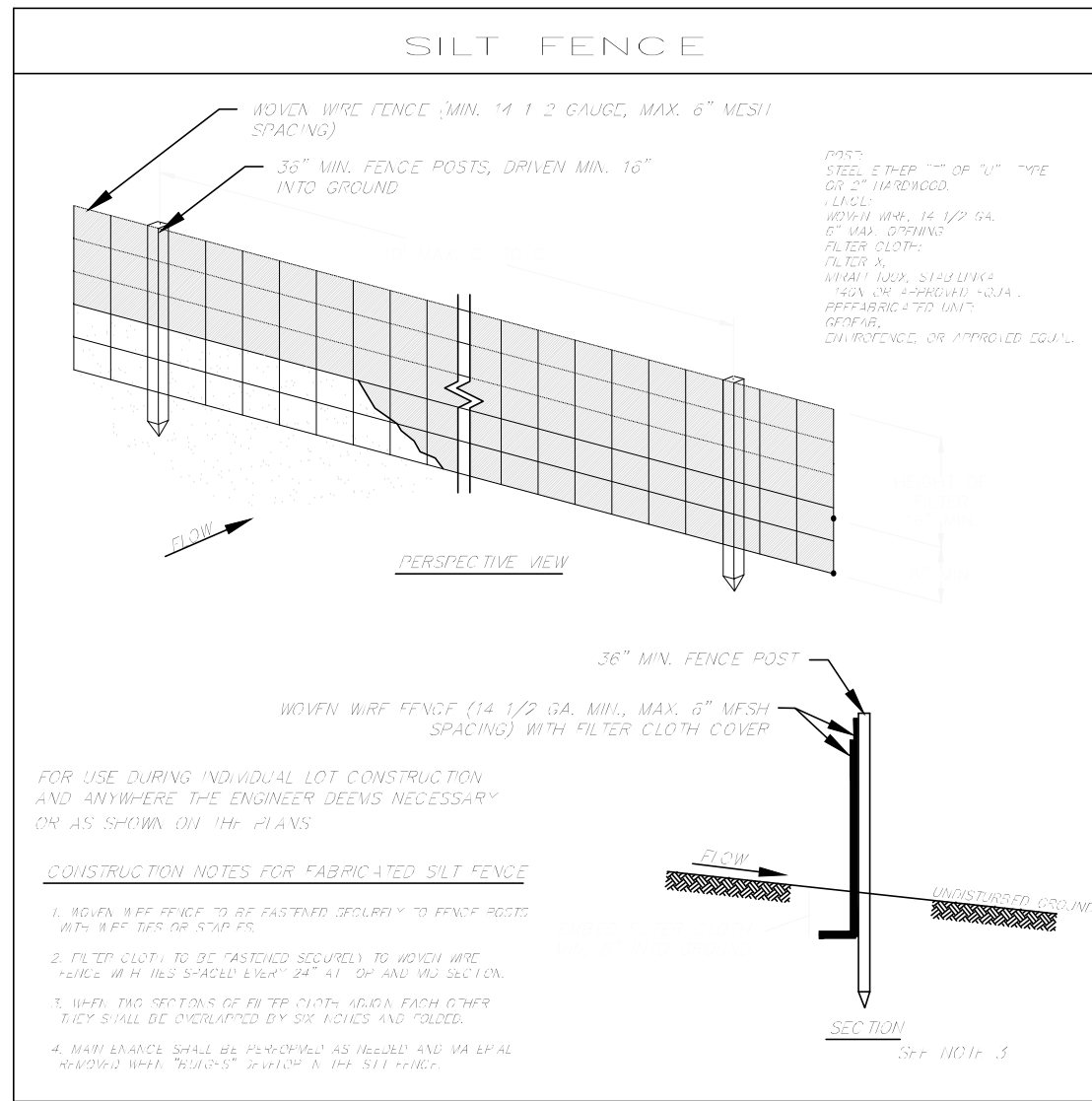
Table showing submission dates to various boards (Trustees, Planning Board, etc.) from 06-01-2018 to 11-03-2020.

SHEET TITLE
TITLE SHEET
DRAWN BY: GS
APPROVED BY: PRS

SHEET NUMBER
T-1

WARNING: IT IS A VIOLATION OF THE NEW YORK STATE EDUCATIONAL LAW ARTICLE 145 SECTION 7209 FOR ANY PERSON, UNLESS HE OR SHE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY.





**CONSTRUCTION SEQUENCE**

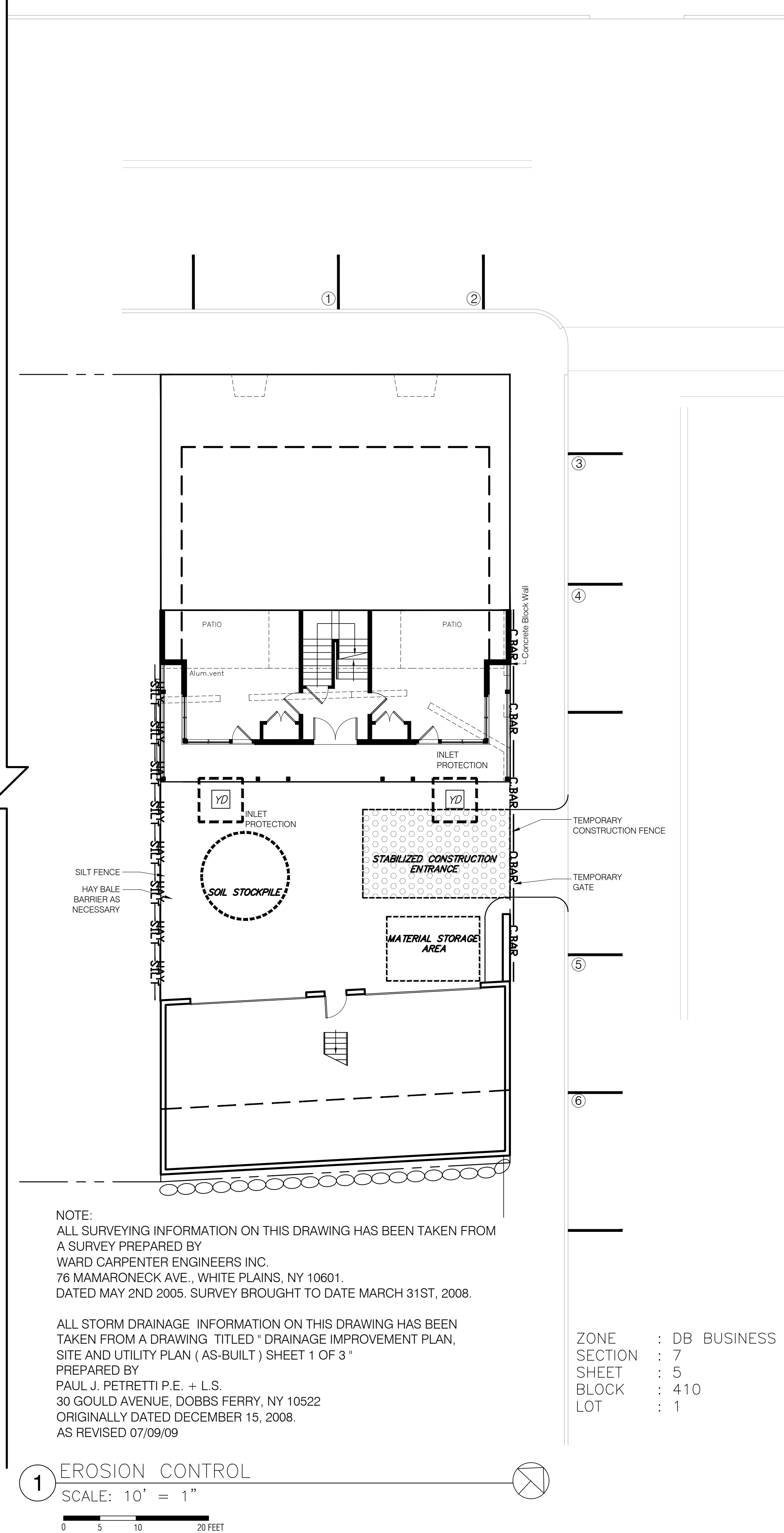
1. Prior to initiating any work at the site, have a site meeting with the general contractor, construction manager, and building inspector to discuss the schedule and to confirm site conditions.
2. Install erosion and sediment control measures. During construction, maintain all erosion and sediment measures at all times. Inspect silt fences and strawbale barriers in advance of forecast storms and following storm events. Maintain and repair as necessary.
3. Remove the existing garage structure, including foundations. Dispose of all materials in full compliance with applicable regulations. Offer the exterior siding to the Historical Society.
4. Reposition, reconfigure, and reconnect the existing on-site, storm drainage components, including the installation of a new manhole for the connection to the system in Elm Street.
5. Install site utilities. Following installation of yard drains, install inlet protection measures. Maintain and repair as necessary until all disturbed site areas have been stabilized.
6. Survey and stake the proposed excavation for foundation work.
7. Proceed with excavation for the foundation, storing all material on site for reuse. If unsuitable or surplus material is encountered, notify the building inspector and remove from the site in compliance with the requirements of all authorities having jurisdiction.
8. Following excavation, survey and stake the footings.
9. Form and pour concrete footings.
10. Survey and stake the footings for the placement of the foundation walls.
11. Form and pour concrete foundation.
12. Following the removal of forms, survey the foundation and have an as-built survey prepared and submitted to the building inspector's office.
13. Backfill foundation and rough grade the site, including the construction of the new retaining wall.
14. Proceed with construction of the building.
15. Install the driveway and curbing and make sidewalk repairs.
16. Plant all site areas in accordance with the Landscaping Plan. Maintain all planted areas until material has taken root and become stable.
17. Maintain the site free of debris at all times. Remove dumpsters within 24 hours of being filled.
18. Arrange for all inspections in accordance with Village of Irvington requirements. Obtain Certificate of Occupancy upon completion of all work and final inspection.

**LEGEND:**



**SOIL EROSION & SEDIMENT CONTROL NOTES**

1. THE CONTRACTOR SHALL PERFORM ALL SITE WORK IN ACCORDANCE WITH CHAPTER 155 "SOIL EROSION AND SEDIMENT CONTROL" OF THE TOWN CODE AND WITH ALL OTHER AGENCIES HAVING JURISDICTION.
2. SOIL SEEDING AND FERTILIZER AMENDMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".
3. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH THE CURRENT EDITION OF "NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL".
4. PRIOR TO STARTING WORK THE CONTRACTOR SHALL OBTAIN THE APPROPRIATE PERMITS FROM THE VILLAGE BUILDING INSPECTOR.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
6. CONSTRUCTION SHALL CONFORM TO THE FOLLOWING REGULATIONS:
  - A) THERE SHALL BE NO INCREASE IN DISCHARGE OF SEDIMENT OR OTHER SOLID MATERIAL FROM THE SITE AS A RESULT OF STORMWATER RUNOFF.
  - B) EROSION CONTROL DEVICES AS DEPICTED ON THESE PLANS OR AS DIRECTED BY THE ENGINEER, SHALL BE INSTALLED CONCURRENTLY WITH EARTH MOVING ACTIVITIES AND WHENEVER A SITUATION IS CREATED WHICH WOULD CONTRIBUTE TO INCREASED EROSION.
  - C) EARTH MOVING, STRIPPING OF VEGETATION, AND THE ADDITION OF FILL SHALL BE MINIMIZED WHERE POSSIBLE AND PRACTICABLE TO PRESERVE DESIRABLE NATURAL FEATURES AND THE TOPOGRAPHY OF THE SITE.
  - D) STRIPPING OF VEGETATION, REGRADING OR OTHER DEVELOPMENT SHALL BE DONE IN SUCH A WAY THAT WILL MINIMIZE EROSION.
  - E) LAND DISTURBANCE SHALL BE LIMITED TO THE ACTUAL CONSTRUCTION SITE AND AN ACCESS STRIP. THE AMOUNT OF DISTURBED AREA AND THE DURATION OF EXPOSURE SHALL BE KEPT TO A PRACTICAL MINIMUM. STOCKPILING OF EARTH OR TOPSOIL SHALL BE PROTECTED AS DETAILED ON THESE PLANS.
  - F) THE PERMANENT (FINAL) VEGETATIVE AND STRUCTURAL EROSION CONTROL AND DRAINAGE MEASURES SHALL BE INSTALLED AS SHOWN ON THESE PLANS AND AS DIRECTED AND APPROVED BY THE TOWN.
  - G) SEDIMENT IN RUNOFF SHALL BE CAPTURED AND REMOVED THROUGH MEANS AS DEPICTED ON THESE PLANS AND AS DIRECTED AND APPROVED BY THE TOWN.
7. NATURAL WATER COURSES SHALL FLOW UNIMPEDED THROUGHOUT CONSTRUCTION OR MAY BE REDIRECTED AS REQUIRED AND APPROVED BY THE VILLAGE.
8. ADEQUATE DRAINAGE SHALL BE ENSURED AT ALL LOW POINTS ALONG THE LINES OF THE ROADWAY.
9. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT TRAPS IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY, PRIOR TO EXPECTED RAIN EVENTS, AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
10. ENSURE ADEQUATE AND UNIMPEDED FLOW OF STORMWATER UNDER DRIVEWAYS IN, NEAR AND ACROSS NATURAL WATER COURSES OR DRAINAGE SWALES.
11. THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS ORDERED BY THE ENGINEER, AND IN ACCORDANCE WITH ACCEPTED STANDARDS.
12. STORMWATER QUALITY BASINS AND TEMPORARY SEDIMENT TRAPS SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING OR LAND DISTURBANCES WHICH THEY WILL SERVE. PLEASE SEE CONSTRUCTION SCHEDULE ON THESE PLANS.
13. EXTERIOR SLOPES OF COMPACTED SOIL SHALL NOT EXCEED ONE FOOT VERTICAL FOR THREE FOOT HORIZONTAL FOR THE BASINS. INTERIOR SLOPES OF THE BASINS SHALL NOT EXCEED ONE FOOT VERTICAL FOR THREE FOOT HORIZONTAL.
14. ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS.
15. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 91 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
16. TEMPORARY AND PERMANENT GRASSES SHALL BE ESTABLISHED ON THE SIDES AND BOTTOM OF THE BASINS WITHIN 15 DAYS OF INITIAL CONSTRUCTION. THE MAINTENANCE AND REPAIR OF THE BASINS SHALL BE THE DIRECT RESPONSIBILITY OF THE APPLICANT DURING THE SITE PREPARATION PROCESS, PRIOR TO A FORMAL MAINTENANCE AGREEMENT BEING EXECUTED.
17. ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
18. FOR GENERAL SITE CONSTRUCTION, EXCEPT WHERE COMPETENT ROCK IS ENCOUNTERED, NO SLOPES STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL SHALL BE PERMITTED.
19. IN CONNECTION WITH SITE GRADING FOR ROADS, DRIVEWAYS, BUILDING AREAS OR OTHER SITE IMPROVEMENTS, THE LATERAL EXTENT OF CUT OR FILL AREAS SHALL NOT BE MORE THAN 30 FEET BEYOND THE TOP OF SLOPE IN FILLS OR IN CUTS OR EXTEND CLOSER THAN 50 FEET TO THE BANK OF ANY PERENNIAL STREAM. THREE FEET HORIZONTAL TO ONE FOOT VERTICAL CUT OR FILL SLOPES SHALL BE USED TO DETERMINE THE EXTENT OF GRADING.
20. THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
21. SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
22. THE APPLICANT SHALL AGREE TO THE GRANTING AND RECORDING OF EASEMENTS FOR DRAINAGE FACILITIES, FOR THE MAINTENANCE OF SWALES AND FOR ACCESS TO PROVIDE FOR THE MAINTENANCE OF WATER MANAGEMENT FACILITIES AS INDICATED ON THESE PLANS.
23. PRIOR TO OBTAINING A CERTIFICATE OF OCCUPANCY FOR BUILDINGS, BUILDING LOTS SHALL BE FINISH GRADED, SEEDED AND MULCHED. THE PERMITS SHALL NOT BE THE CODE ENFORCEMENT OFFICER AT LEAST TWO BUSINESS DAYS BEFORE ANY WORK IS UNDERTAKEN PURSUANT TO AN ISSUED PERMIT.
24. MAJOR MODIFICATIONS OF THE APPROVED APPLICATION AND PLANS SHALL BE SUBMITTED TO THE VILLAGE AND PROCESSED IN THE SAME MANNER, INCLUDING FEES, AS THE ORIGINAL APPLICATION AND PLANS.
25. FIELD MODIFICATIONS OF A MINOR NATURE MAY BE AUTHORIZED BY THE VILLAGE BUILDING INSPECTOR, PROVIDED THAT WRITTEN AUTHORIZATION IS GIVEN TO THE PERSON PERFORMING WORK PURSUANT TO THESE PLANS.
26. A FINAL INSPECTION SHALL BE CONDUCTED BY THE BUILDING INSPECTOR TO VERIFY COMPLIANCE WITH THESE PLANS AND THE TOWN CODE. SATISFACTORY COMPLIANCE SHALL BE NECESSARY BEFORE THE ISSUANCE OF A CERTIFICATE OF COMPLIANCE.



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info@integralegr.com : e  
www.integralegr.com : w

PROJECT TITLE: **100 MAIN STREET**  
DOBBS FERRY, NY 10522

PROJECT NO.: 0805

**GOTHAM DESIGN**  
AND COMMUNITY DEVELOPMENT LTD.  
329 Broadway  
Dobbs Ferry, N.Y. 10522  
Phone: (914) 693-5093  
Fax: (914) 693-5390  
email: arch329@gmail.com

ISSUED DATE: 02-12-14

RE-ISSUED: 06-01-2018  
BOARD OF TRUSTEES

SUBMITTED TO: 06-01-2018  
BOARD OF TRUSTEES

SUBMITTED TO: 07-19-2018  
PLANNING BOARD

SUBMITTED TO: 08-23-2018  
PLANNING BOARD

SUBMITTED TO: 10-11-2018  
PLANNING BOARD AND AHRB

REVISED: 05-16-2019

SUBMITTED TO: 06-13-2019  
TO AHRB

SUBMITTED TO: 11-07-2019  
TO AHRB

SUBMITTED TO: 02-13-2020  
TO BOARD OF TRUSTEES

SUBMITTED TO: 06-08-2020  
TO BOARD OF TRUSTEES

SUBMITTED TO: 11-03-2020  
TO BOARD OF TRUSTEES

SHEET TITLE  
**EROSION CONTROL PLAN**

DRAWN BY: GS  
APPROVED BY: PRS

SHEET NUMBER  
**SP-4.1**

ZONE : DB BUSINESS  
SECTION : 7  
SHEET : 5  
BLOCK : 410  
LOT : 1

**ZONING ANALYSIS**

OWNER	LEON SUTTON		
LOCATION	100 MAIN STREET DOBBS FERRY, N.Y. 10522		
TAX MAP	SECTION : 7	SHEET : 5	BLOCK : 410 LOTS : 1
EXISTING ZONING	DB BUSINESS		
EXISTING USE	TWO RESIDENTIAL UNITS ABOVE RETAIL SPACE WITH AN ACCESSORY STRUCTURE PROVIDING STORAGE FOR THE TENANTS		
PROPOSED USE	CONSTRUCTION OF AN ADDITION TO THE EXISTING BUILDING ADDING TWO APARTMENTS FOR A TOTAL OF FOUR RESIDENTIAL UNITS EXISTING ACCESSORY STRUCTURE TO BE RENOVATED TO PROVIDE FOUR GARAGE SPACES PLUS STORAGE		

**ZONING REQUIREMENTS**

SETBACKS	REQUIRED/ALLOWED DB ZONE - DOWNTOWN BUSINESS	EXISTING	PROPOSED
FRONT (MIN.)	0 FEET	0.1 FEET	0.1 FEET
SIDE ONE (MIN.)	0 FEET	0.0 FEET	0.0 FEET
SIDE TWO (TOTAL MIN.)	0 FEET	0.0 FEET	0.0 FEET
REAR (MIN.)	0 FEET	0.0 FEET	0.0 FEET
AQUEDUCT *	10 FEET	0.0 FEET	0.0 FEET
<b>HEIGHT</b>			
STORIES (MIN.)	2		
STORIES (MAX.)	3 **		
FRONT BUILDING		3.5	
ADDITION			4 ***
FEET (MIN.)	24 FEET		
FEET (MAX.)	40 FEET **	39.33 FEET	45 FEET ***
HEIGHT FROM SIDEWALK TO PROPOSED FLAT ROOF DECK			30 FEET

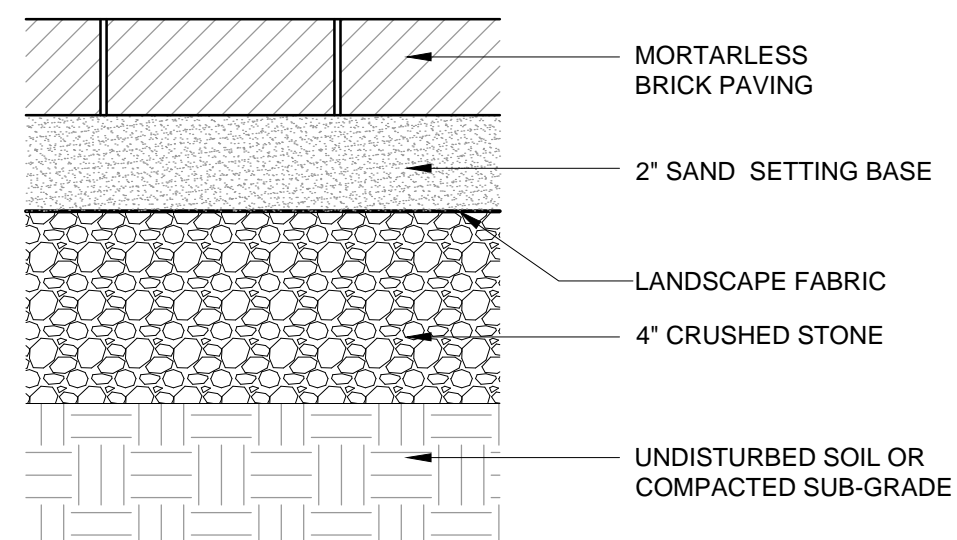
**LOT COVERAGE**

LOT WIDTH	N/A	48.2 FEET
LOT DEPTH	N/A	108.66 SQ.FT.
LOT AREA	N/A	5,297 SQ.FT.
MAXIMUM LOT COVERAGE BY BUILDINGS	80%	58.63%
PERCENTAGE OF LOT		(1950+1156=3106/5297) (1536+1156+1170 = 3862/5297)
MAXIMUM LOT COVERAGE BY IMPERVIOUS COVER	100%	100%

**PARKING**

REQ. RETAIL (1,945/500)	0 SPACES	0 SPACES
1 SPACE/500 SQ.FT. FL AREA		
REQ. RESIDENTIAL ****	2 UNITS = 2 SPACES	4 UNITS = 4 SPACES
1 SPACE/UNIT + 0.25/BEDROOM	4 BDRMS = 1 SPACE	8 BDRMS = 2 SPACES
TOTAL REQUIRED	3 SPACES	6 SPACES
PROVIDED ON SITE	3 SPACES	4 SPACES
PROVIDED AT CURB		2 SPACES

\* SETBACK TO AQUEDUCT ADDED BY CHANGE TO VILLAGE CODE 08-22-2018  
 \*\* PERMITTED HEIGHT OF BUILDING IN VILLAGE CODE CHANGED 08-22-2018  
 \*\*\* FOUR STORIES AND 45 FEET PERMITTED AT THE DISCRETION OF THE BOARD OF TRUSTEES  
 \*\*\*\* REQUIRED PARKING INCREASED FROM FOUR TO SIX SPACES PER VILLAGE CODE CHANGED 08-22-2018



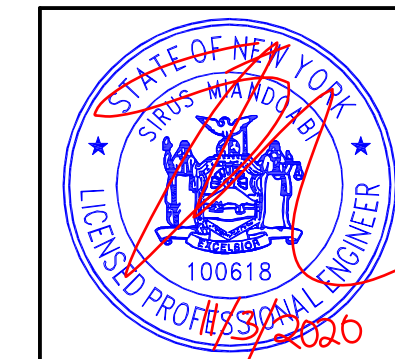
**BRICK PAVING DETAIL**  
NOT TO SCALE

NOTE:  
 ALL SURVEYING INFORMATION ON THIS DRAWING HAS BEEN TAKEN FROM A SURVEY PREPARED BY WARD CARPENTER ENGINEERS INC. 76 MAMARONECK AVE., WHITE PLAINS, NY 10601. DATED MAY 2ND 2005. SURVEY BROUGHT TO DATE MARCH 31ST, 2008.

ALL STORM DRAINAGE INFORMATION ON THIS DRAWING HAS BEEN TAKEN FROM A DRAWING TITLED "DRAINAGE IMPROVEMENT PLAN, SITE AND UTILITY PLAN (AS-BUILT) SHEET 1 OF 3" PREPARED BY PAUL J. PETRETTI P.E. + L.S. 30 GOULD AVENUE, DOBBS FERRY, NY 10522. ORIGINALLY DATED DECEMBER 15, 2008. AS REVISED 07/09/09

**PROPERTY OWNER: LEON SUTTON**  
**L.M.SUTTON REALTY**  
**ADDRESS: 2600 Netherland Ave # 3102**  
**Bronx, New York 10463-4801**  
**PHONE: (718) 432-1112**

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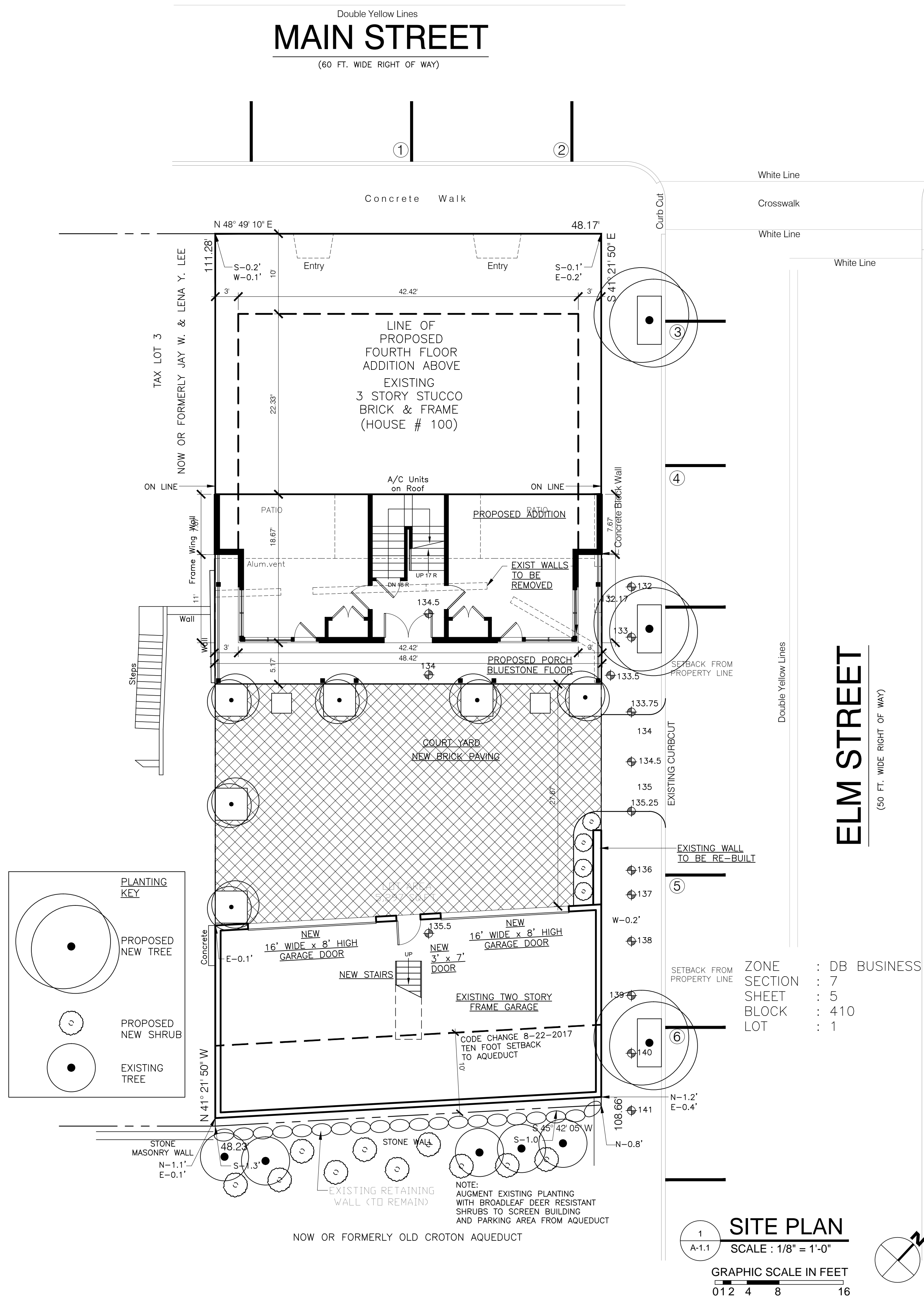
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 Dobbs Ferry, NY 10522  
 914-274-8874 : o  
 914-774-0343 : m  
 info@integraleng.com : e  
 www.integraleng.com : w

**PROJECT TITLE:**  
**100 MAIN STREET**  
**DOBBS FERRY, NY 10522**

**PROJECT NO.:**  
**0805**

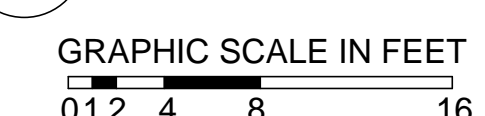
**GOTHAM DESIGN**  
 AND COMMUNITY DEVELOPMENT LTD.  
 329 Broadway  
 Dobbs Ferry, N.Y. 10522  
 Phone: (914) 693-5093  
 Fax: (914) 693-5390  
 email: arch329@gmail.com

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 SUBMITTED 02-13-2020 TO BOARD OF TRUSTEES  
 SUBMITTED 06-08-2020 TO BOARD OF TRUSTEES  
 SUBMITTED 11-03-2020 TO BOARD OF TRUSTEES



ZONE : DB BUSINESS  
 SECTION : 7  
 SHEET : 5  
 BLOCK : 410  
 LOT : 1

**SITE PLAN**  
SCALE : 1/8" = 1'-0"



SHEET TITLE  
**SITE PLAN AND LANDSCAPING PLAN**  
 DRAWN BY: GS  
 APPROVED BY: PRS

SHEET NUMBER  
**A-1.1**

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SECTIONS ARE FOR REFERENCE  
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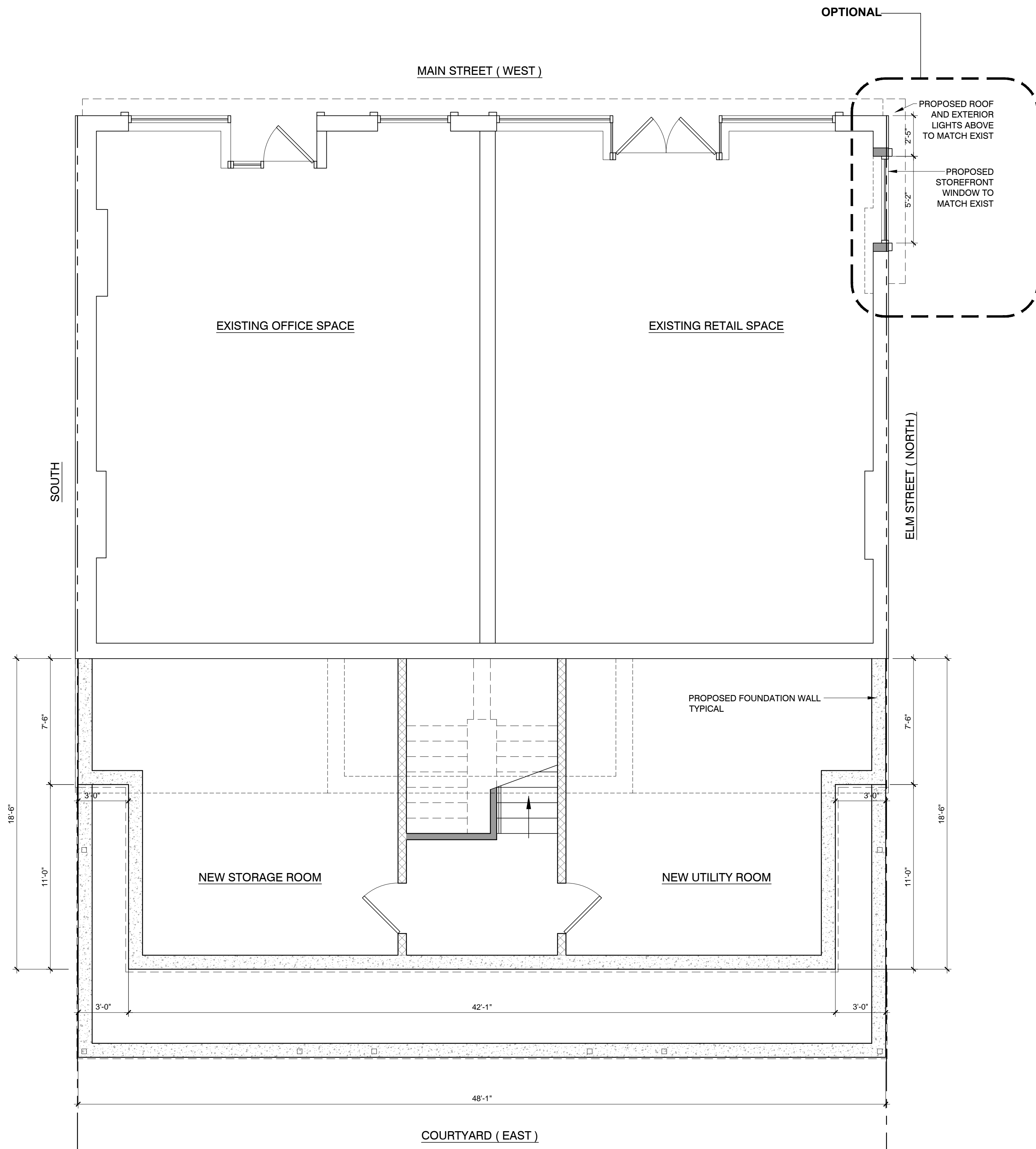
PROJECT TITLE: **100 MAIN STREET**  
DOBBS FERRY, NY 10522

PROJECT NO.: 0805

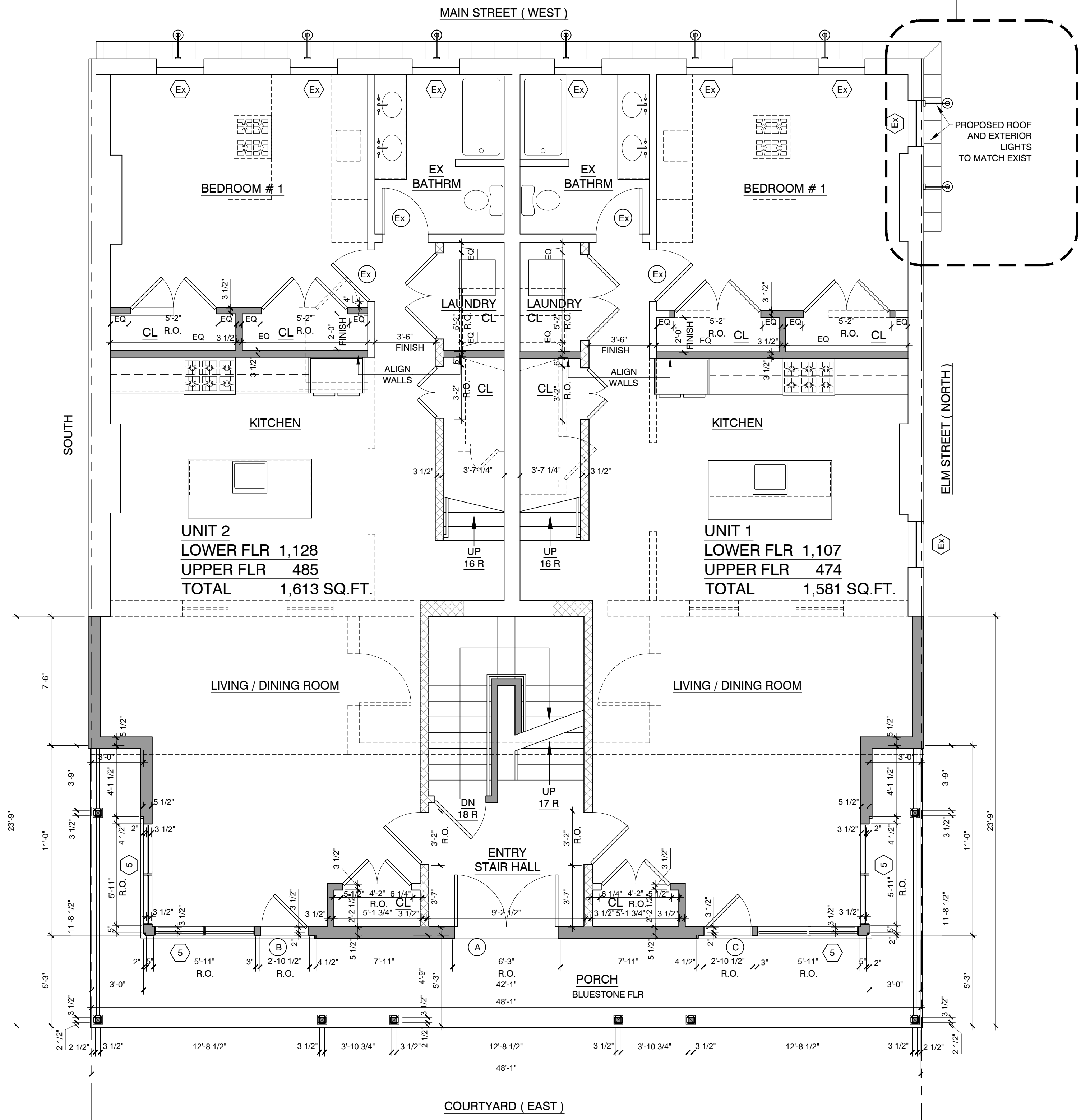
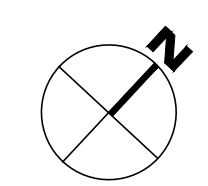
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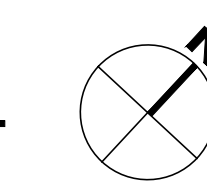
SUBMITTED TO AHRB	01-02-2020
SUBMITTED TO BOARD OF TRUSTEES	02-13-2020
SUBMITTED TO BOARD OF TRUSTEES	06-08-2020
SUBMITTED TO BOARD OF TRUSTEES	11-03-2020



**1 FIRST FLOOR PLAN**  
A-2.1 SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET



**2 SECOND FLOOR PLAN**  
A-2.1 SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET



**LEGEND**

- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- PROPOSED WORK

SHEET TITLE  
**FIRST AND SECOND FLOOR PLANS**  
DRAWN BY: GS  
APPROVED BY: PRS

SHEET NUMBER  
**A-2.1**

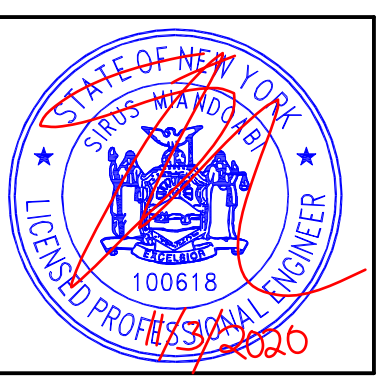
DOOR SCHEDULE									
100 MAIN STREET DOBBS FERRY N.Y. 10522									
EXTERIOR									
SYM	MANUF	TYPE	NUMBER	ROUGH OPENING	QUANTITY	GLAZING	U-FACTOR	JAMB	NOTES
A		SWINGING DOOR	(2) 3'-0" x 8'-0"	6'-3" x 8'-2 1/2"	1 L, R	INSULATED	0.38	6 9/16"	
B	PELLA	INSWING FRENCH DOOR	3496 R	2'-10 1/4" x 8'-0"	1 R	INSULATED	0.29	4 9/16"	
C	PELLA	INSWING FRENCH DOOR	3496 L	2'-10 1/4" x 8'-0"	1 L	INSULATED	0.29	4 9/16"	
D	PELLA	SLIDING PATIO DOOR	7282 (O X)	6'-0" x 6'-10 1/2"	1	INSULATED	0.29	6 9/16"	
E	PELLA	SLIDING PATIO DOOR	7282 (X O)	6'-0" x 6'-10 1/2"	1	INSULATED	0.29	6 9/16"	
F		FIXED TRANSOM OVER SWINGING DOOR	3624 OVER 3684	3'-3" x 9'-4"	1	INSULATED	0.38		
G		OVERHEAD DOOR		16'-0" x 8'-0"	2	INSULATED			VERIFY IN FIELD

WINDOW SCHEDULE									
100 MAIN STREET DOBBS FERRY N.Y. 10522									
SYM	MANUF	TYPE	NUMBER	ROUGH OPENING	QUANTITY	GLAZING	U-FACTOR	JAMB	NOTES
1	PELLA	CASEMENT	CC 3232	2'-8 3/4" x 2'-8 3/4"	6 (3 L, 3 R)	INSULATED	0.28	6 9/16"	
2	PELLA	CASEMENT	CC 2659 3W	7'-3 3/4" x 4'-11 3/4"	1 (L, F, R)	INSULATED	0.28	6 9/16"	EGRESS WINDOW
3	PELLA	CASEMENT	CC 3559 2W	5'-10 3/4" x 4'-11 3/4"	8 (L, R)	INSULATED	0.28	4 9/16"	EGRESS WINDOW
4	PELLA	CASEMENT	CC 3559 3W	8'-9 3/4" x 4'-11 3/4"	4 (L, F, R)	INSULATED	0.28	4 9/16"	EGRESS WINDOW
5	PELLA	CASEMENT	CC 3565 3W	5'-10 3/4" x 5'-5 3/4"	4 (L, F, R)	INSULATED	0.28	4 9/16"	EGRESS WINDOW

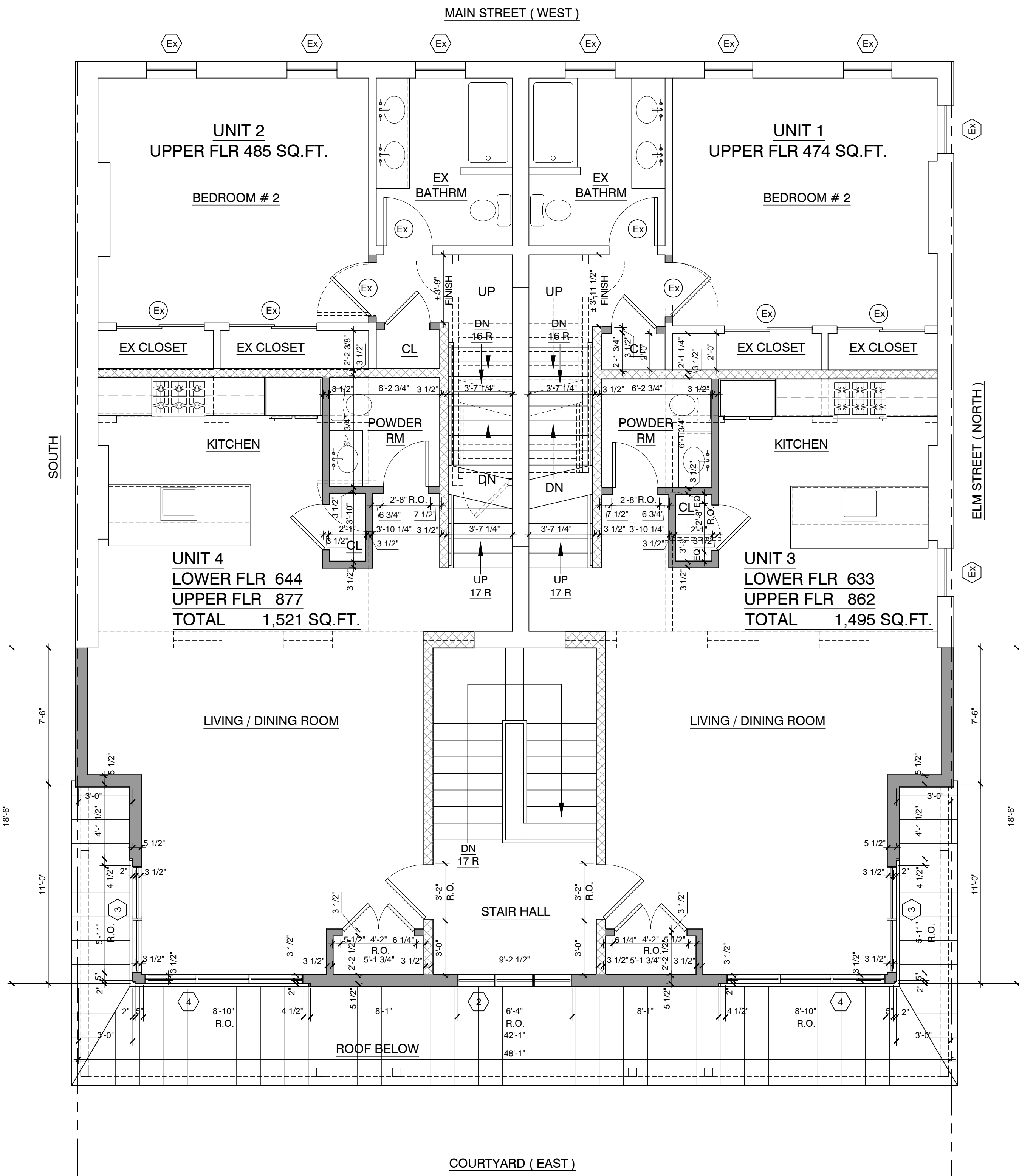
EGRESS WINDOW:  
 THESE WINDOWS MEET OR EXCEED THE REQUIREMENTS OF SECTION R310.2.1 FOR EMERGENCY ESCAPE AND RESCUE OPENINGS.  
 OPENINGS TO HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.  
 THE NET CLEAR HEIGHT OPENING SHALL NOT BE LESS THAN 24 INCHES.  
 THE NET CLEAR WIDTH OPENING SHALL NOT BE LESS THAN 20 INCHES.  
 THE SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

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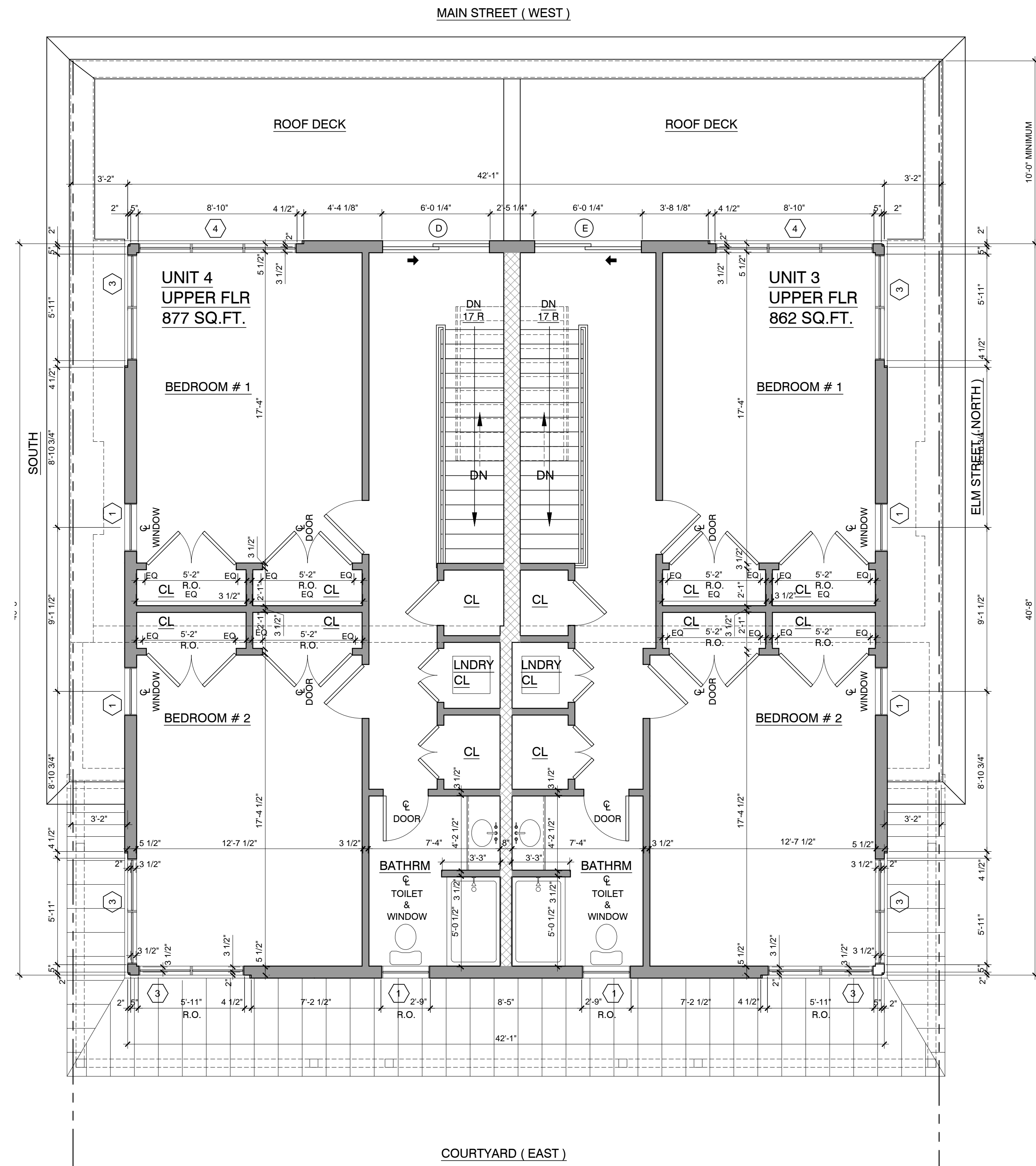
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**1**  
**A-2.2**  
**THIRD FLOOR PLAN**  
 SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET  
 0 1 2 4 8



**2**  
**A-2.2**  
**FOURTH FLOOR PLAN**  
 SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET  
 0 1 2 4 8

**LEGEND**  
 ——— EXISTING TO REMAIN  
 - - - - - EXISTING TO BE REMOVED  
 ——— PROPOSED WORK

PROJECT TITLE: **100 MAIN STREET DOBBS FERRY, NY 10522**  
 PROJECT NO.: **0805**

**GOTHAM DESIGN**  
 AND COMMUNITY DEVELOPMENT LTD.  
 329 Broadway  
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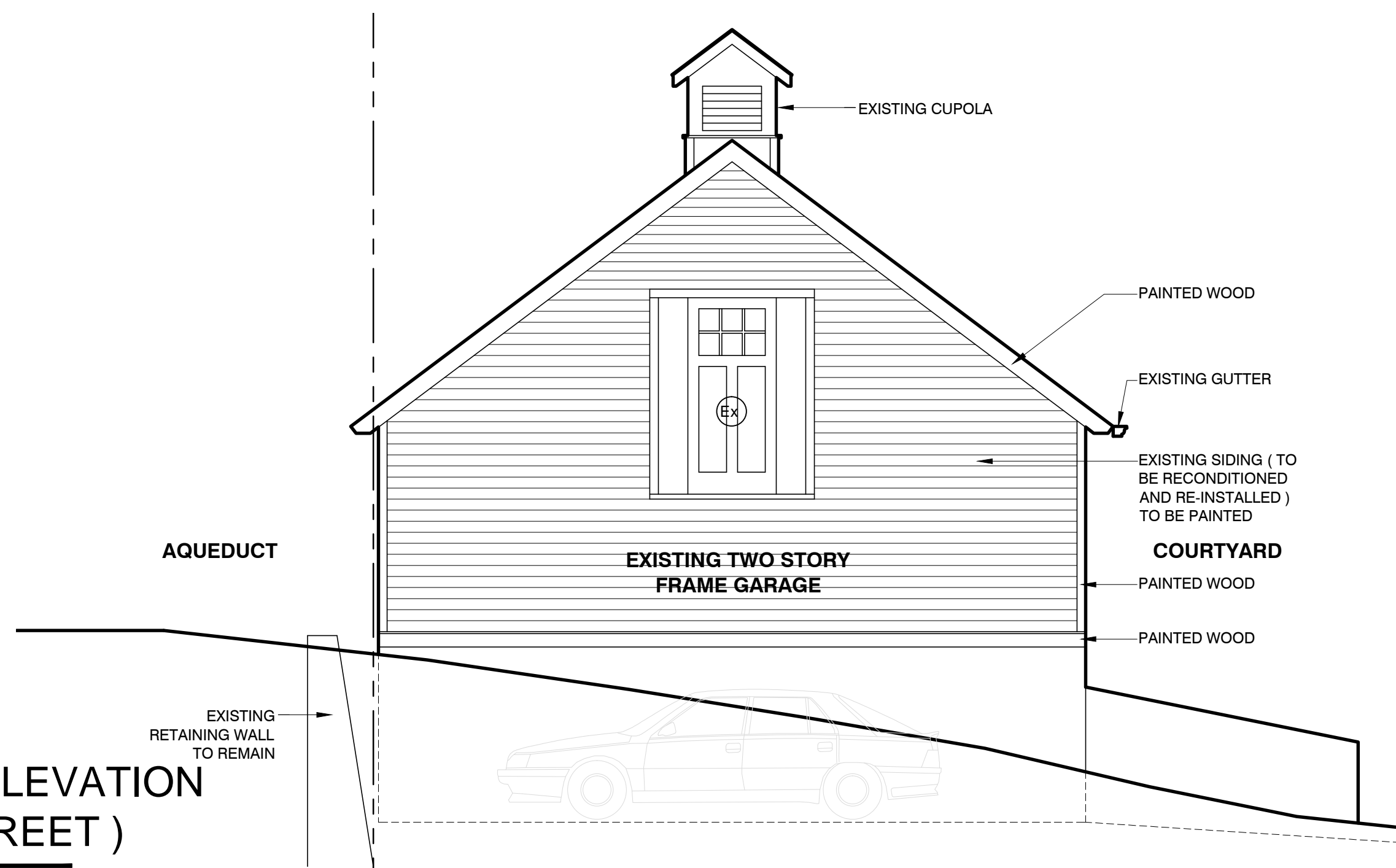
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SHEET TITLE  
**THIRD AND FOURTH FLOOR PLANS**  
 DRAWN BY: GS  
 APPROVED BY: PRS

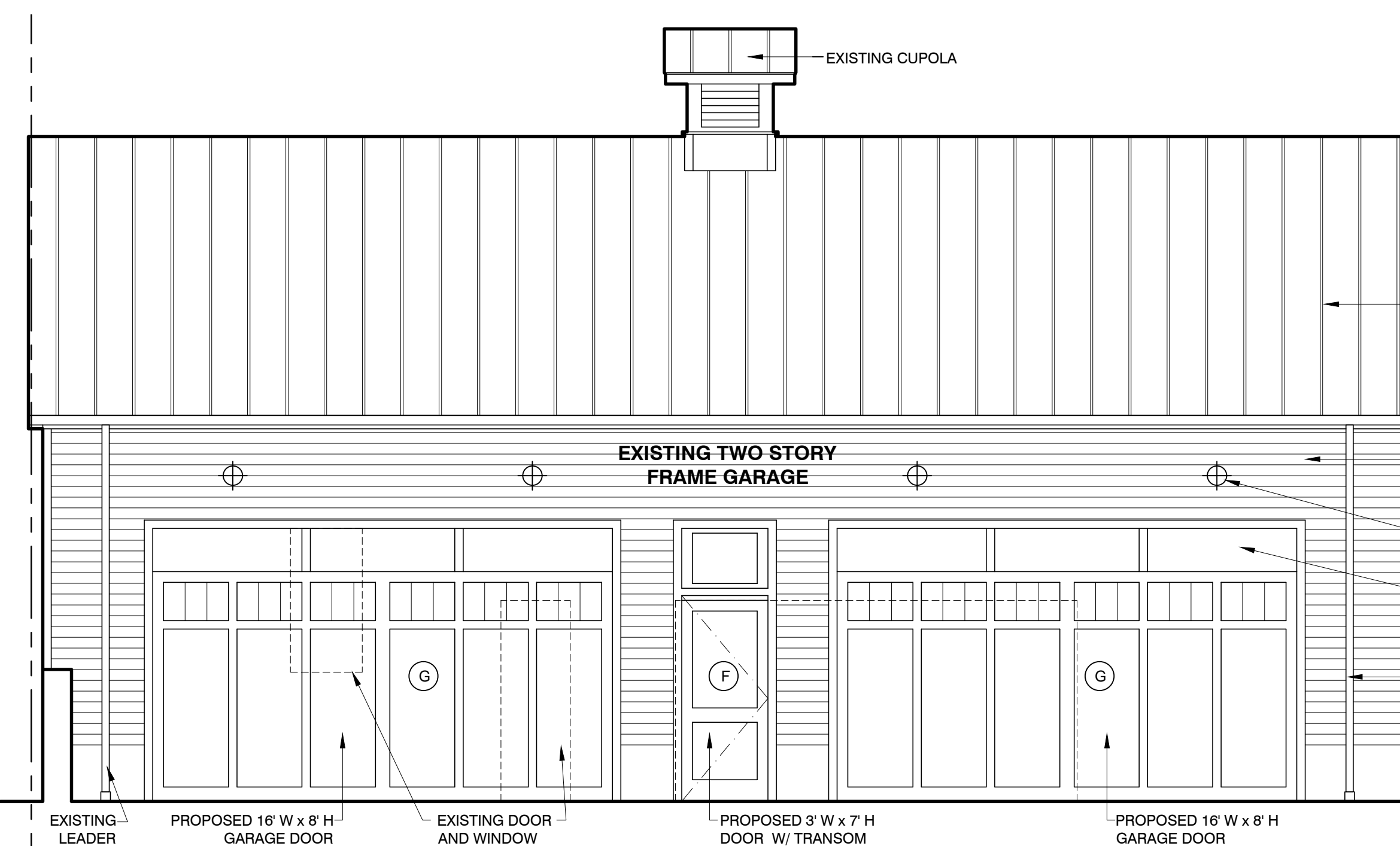
SHEET NUMBER  
**A-2.2**

**GARAGE NORTH ELEVATION ( ELM STREET )**

SCALE : 1/4" = 1'-0"  
GRAPHIC SCALE IN FEET



ELM STREET



PROPOSED PRE-FINISHED STANDING SEAM METAL ROOFING

EXISTING SIDING ( TO BE RECONDITIONED AND RE-INSTALLED ) TO BE PAINTED

PROPOSED EXTERIOR LIGHT FIXTURES CONTROLLED BY MOTION SENSORS  
PROPOSED PANELS ABOVE GARAGE DOOR 'AZEK' TRIM TO BE PAINTED

EXISTING LEADER

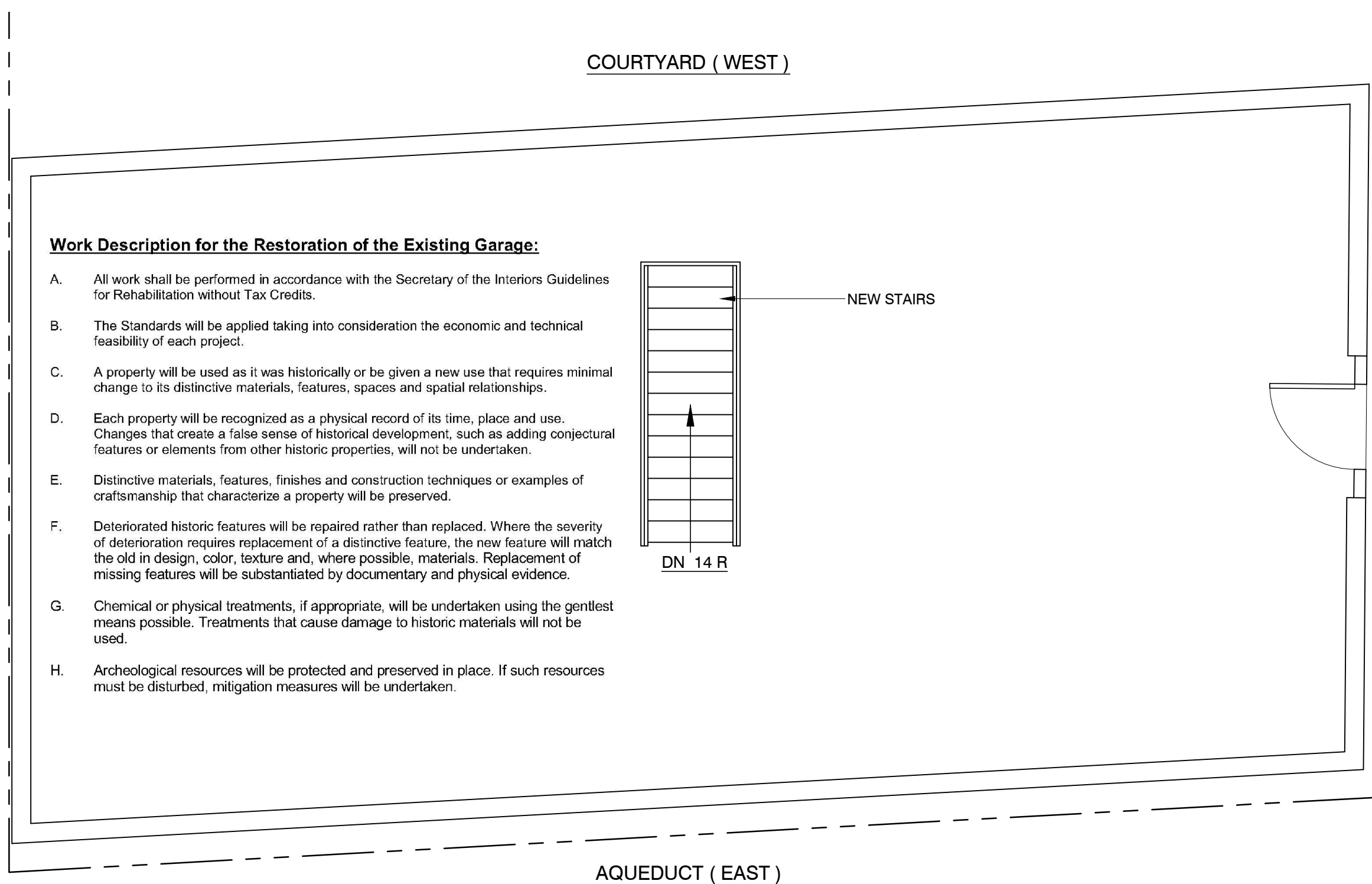
**GARAGE WEST ELEVATION ( COURTYARD )**

SCALE : 1/4" = 1'-0"  
GRAPHIC SCALE IN FEET



**GARAGE ATTIC PLAN**

SCALE : 1/4" = 1'-0"  
GRAPHIC SCALE IN FEET



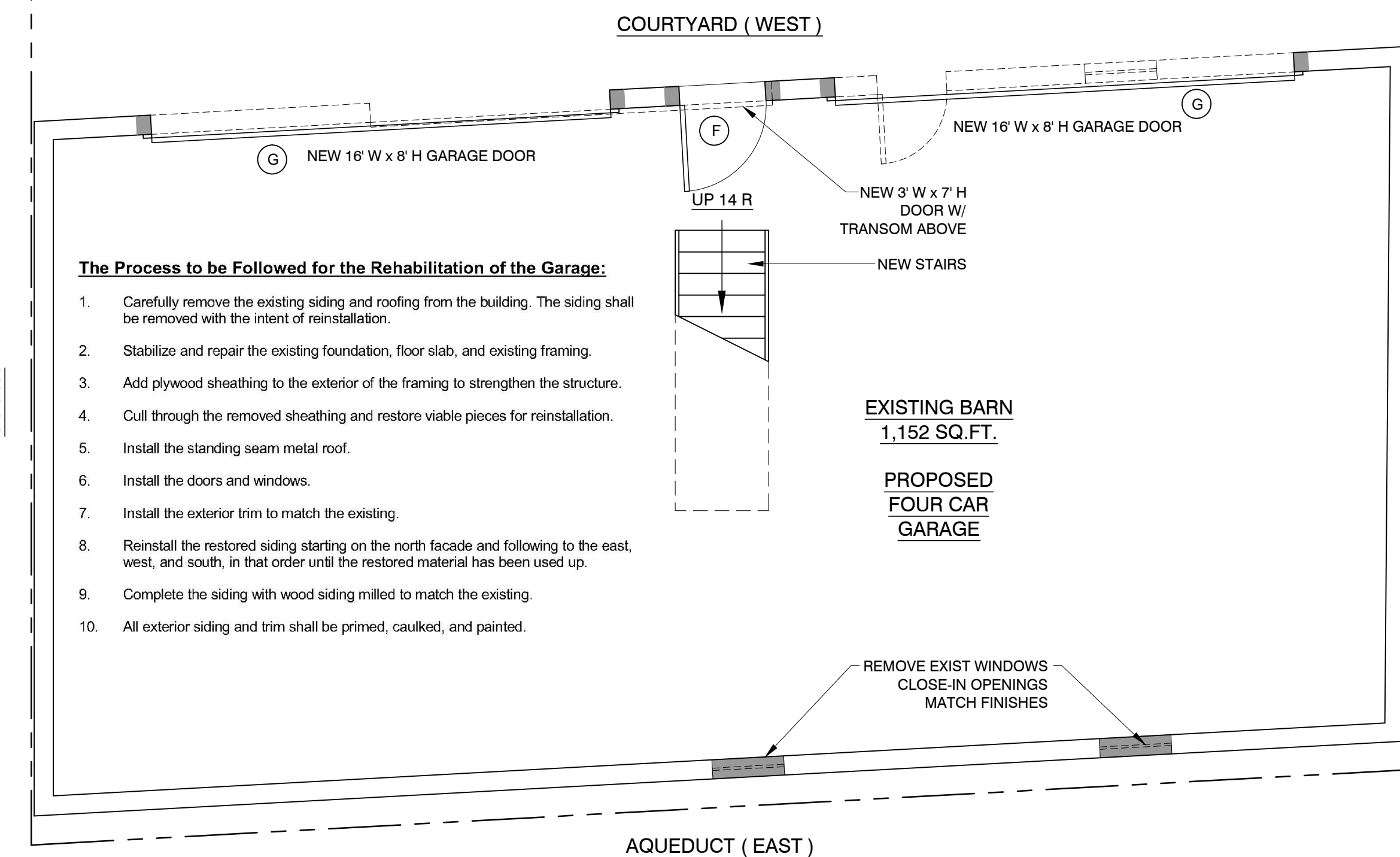
**Work Description for the Restoration of the Existing Garage:**

- A. All work shall be performed in accordance with the Secretary of the Interiors Guidelines for Rehabilitation without Tax Credits.
- B. The Standards will be applied taking into consideration the economic and technical feasibility of each project.
- C. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- D. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
- E. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- F. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- G. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
- H. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

**The Process to be Followed for the Rehabilitation of the Garage:**

1. Carefully remove the existing siding and roofing from the building. The siding shall be removed with the intent of reinstallation.
2. Stabilize and repair the existing foundation, floor slab, and existing framing.
3. Add plywood sheathing to the exterior of the framing to strengthen the structure.
4. Cull through the removed sheathing and restore viable pieces for reinstallation.
5. Install the standing seam metal roof.
6. Install the doors and windows.
7. Install the exterior trim to match the existing.
8. Reinstall the restored siding starting on the north facade and following to the east, west, and south, in that order until the restored material has been used up.
9. Complete the siding with wood siding milled to match the existing.
10. All exterior siding and trim shall be primed, caulked, and painted.

COURTYARD ( WEST )



EXISTING BARN  
1,152 SQ.FT.

PROPOSED  
FOUR CAR  
GARAGE

GENERAL NOTE:  
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**LEGEND**

- EXISTING TO REMAIN
- - - EXISTING TO BE REMOVED
- ▬ PROPOSED WORK

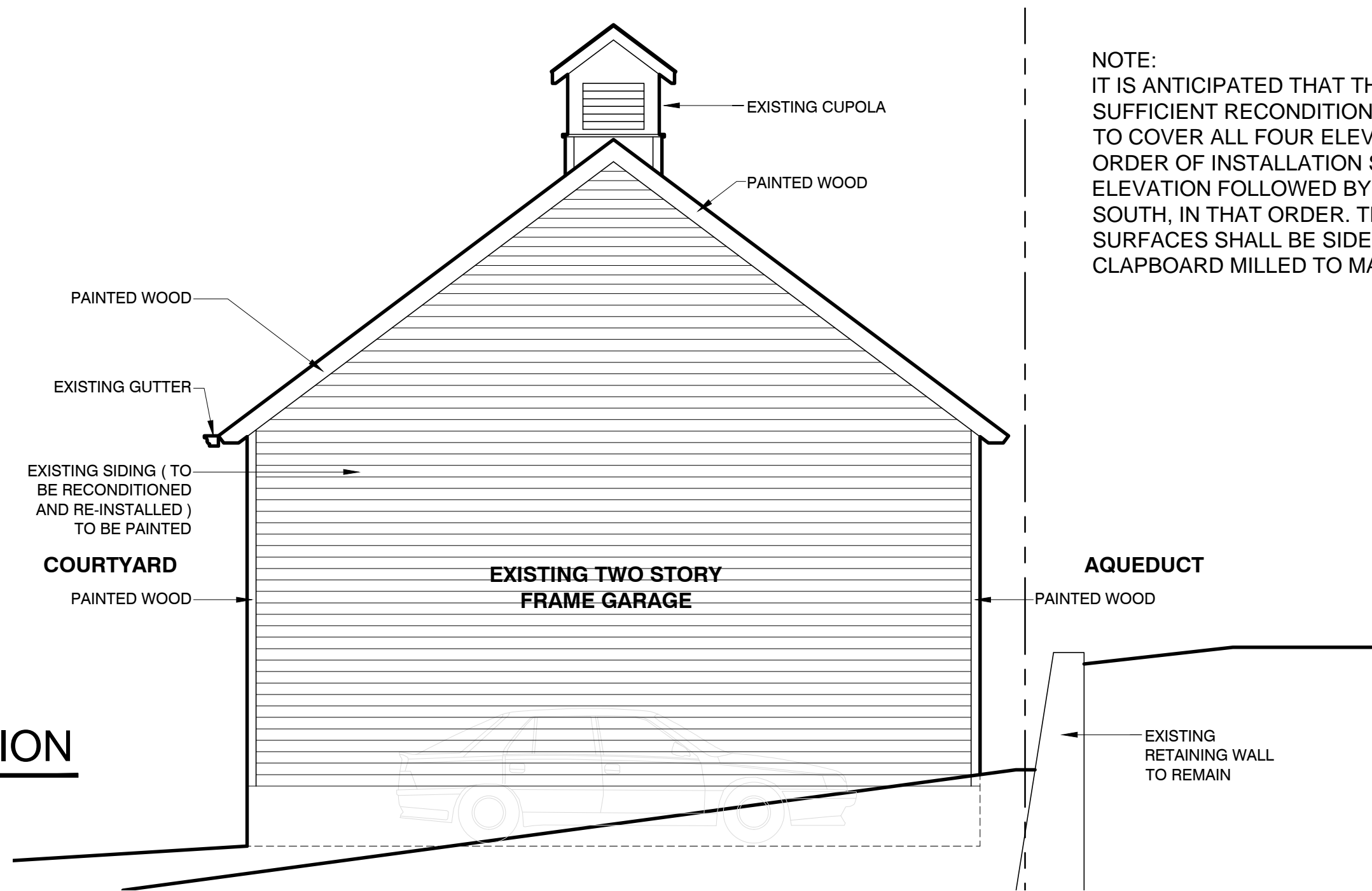
**GARAGE FLOOR PLAN**

SCALE : 1/4" = 1'-0"  
GRAPHIC SCALE IN FEET

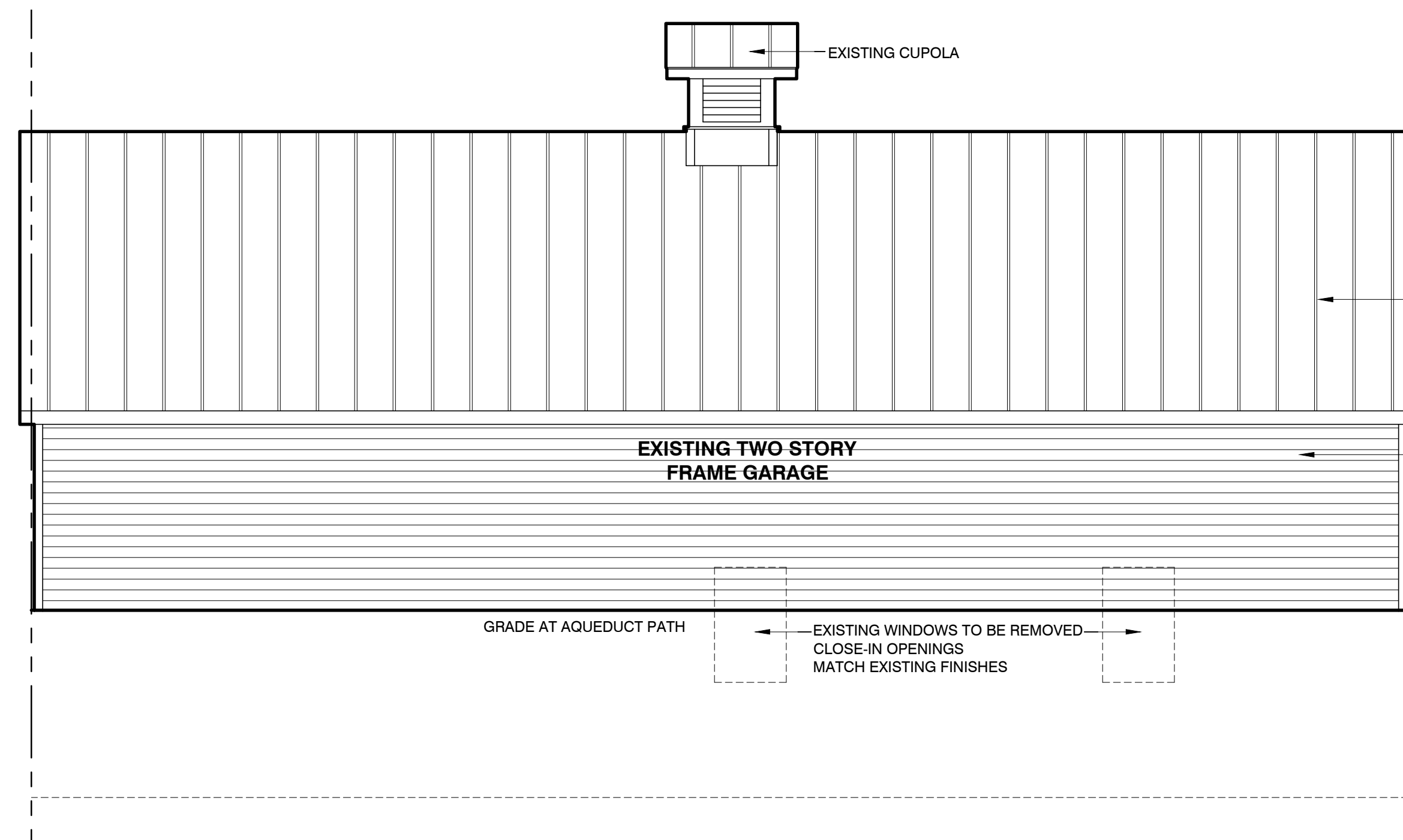


**GARAGE SOUTH ELEVATION**

SCALE : 1/4" = 1'-0"  
GRAPHIC SCALE IN FEET



NOTE:  
IT IS ANTICIPATED THAT THERE WILL NOT BE SUFFICIENT RECONDITIONED EXISTING SIDING TO COVER ALL FOUR ELEVATIONS. THE ORDER OF INSTALLATION SHALL BE NORTH ELEVATION FOLLOWED BY EAST, WEST AND SOUTH, IN THAT ORDER. THE REMAINING SURFACES SHALL BE SIDED BY NEW CLAPBOARD MILLED TO MATCH EXISTING



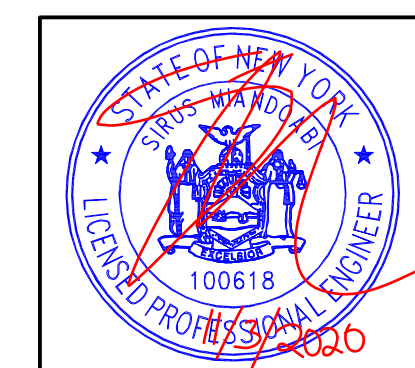
PROPOSED PRE-FINISHED STANDING SEAM METAL ROOFING

EXISTING SIDING ( TO BE RECONDITIONED AND RE-INSTALLED ) TO BE PAINTED

ELM STREET

**GARAGE EAST ELEVATION ( AQUEDUCT )**

SCALE : 1/4" = 1'-0"  
GRAPHIC SCALE IN FEET



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www.integralegr.com : w

PROJECT TITLE: **100 MAIN STREET**  
DOBBS FERRY, NY 10522

PROJECT NO.: 0805

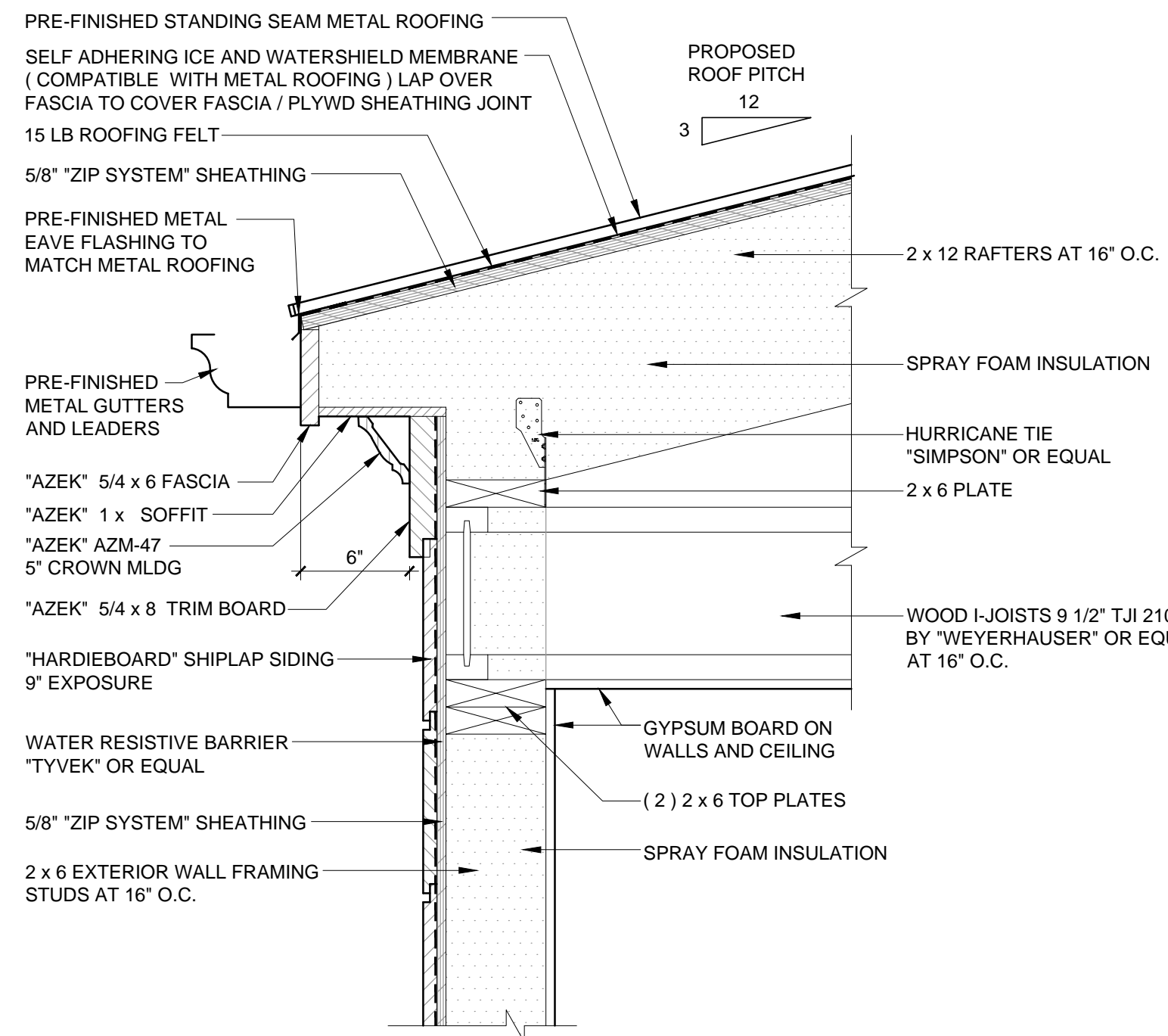
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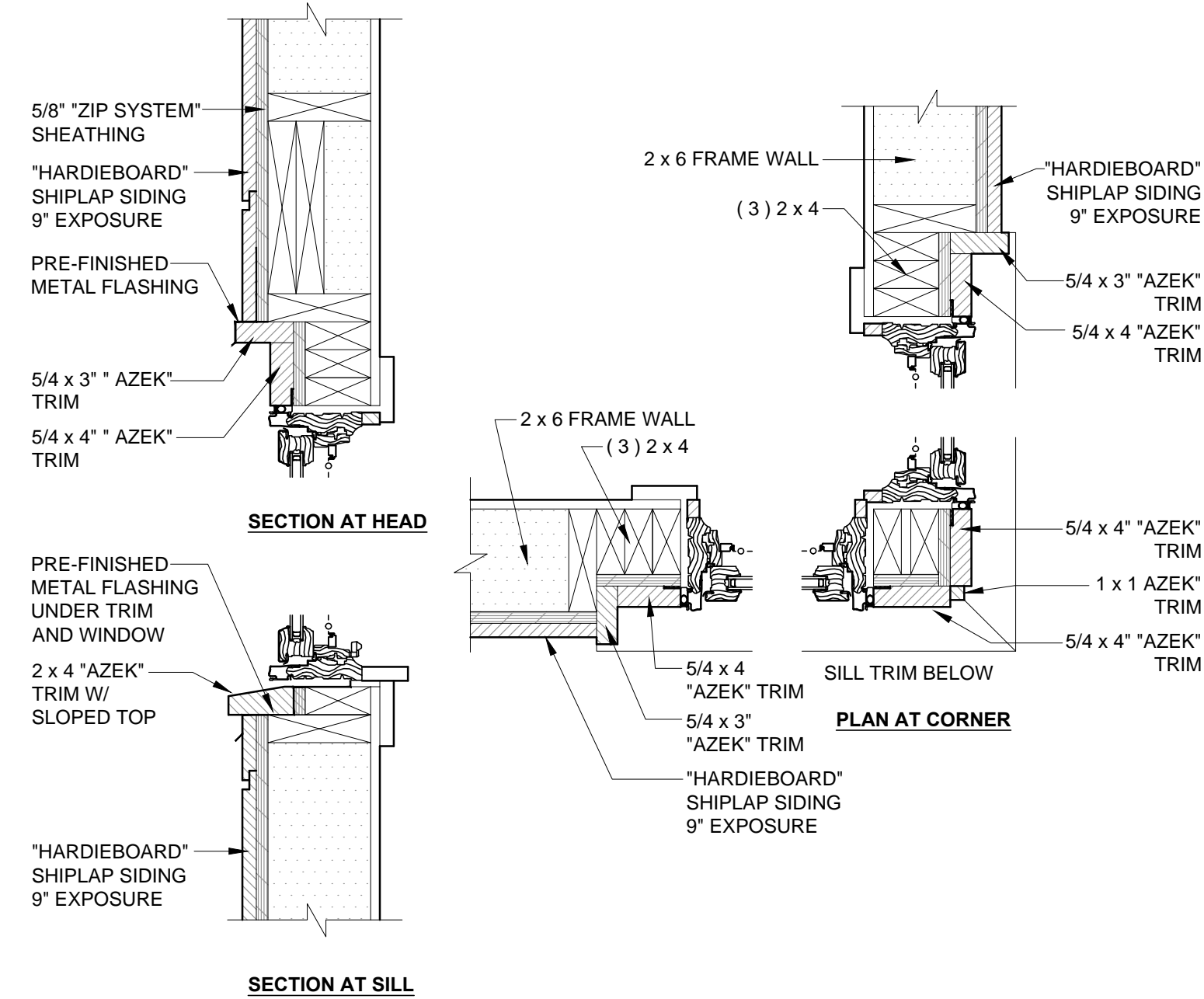
SUBMITTED TO AHRB 01-02-2020  
SUBMITTED TO BOARD OF TRUSTEES 02-13-2020  
SUBMITTED TO BOARD OF TRUSTEES 06-08-2020  
SUBMITTED TO BOARD OF TRUSTEES 11-03-2020

SHEET TITLE  
**GARAGE PLANS AND ELEVATIONS**  
DRAWN BY: GS  
APPROVED BY: PRS

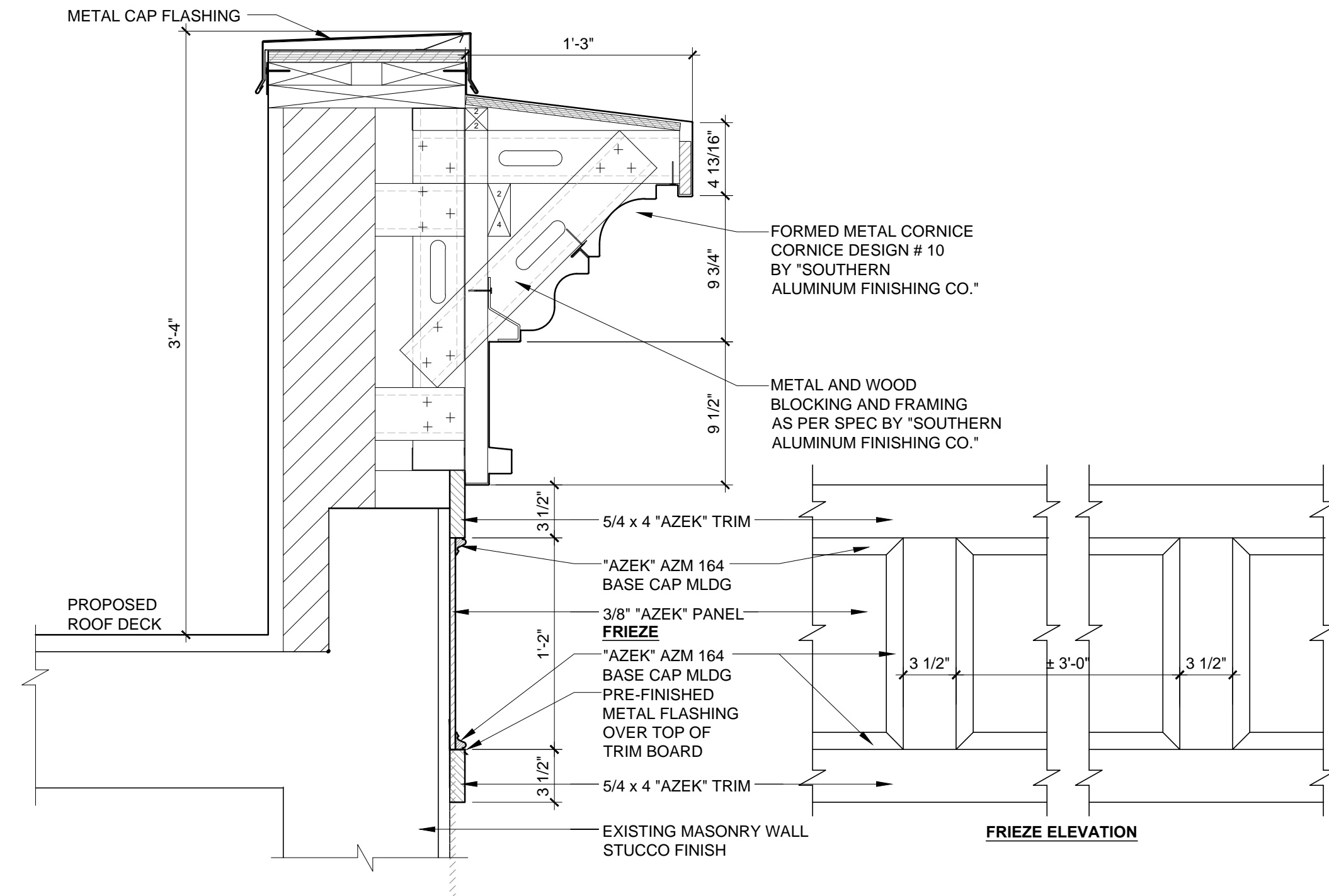
SHEET NUMBER  
**A-2.3**



3 ROOF EAVE DETAIL  
 A-3.1 SCALE : 1 1/2" = 1'-0" GRAPHIC SCALE IN FEET



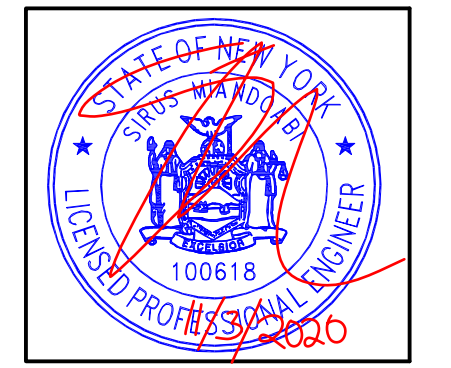
4 CORNER WINDOW DETAIL  
 A-3.1 SCALE : 1 1/2" = 1'-0" GRAPHIC SCALE IN FEET



5 CORNICE AND FRIEZE DETAIL  
 A-3.1 SCALE : 1 1/2" = 1'-0" GRAPHIC SCALE IN FEET

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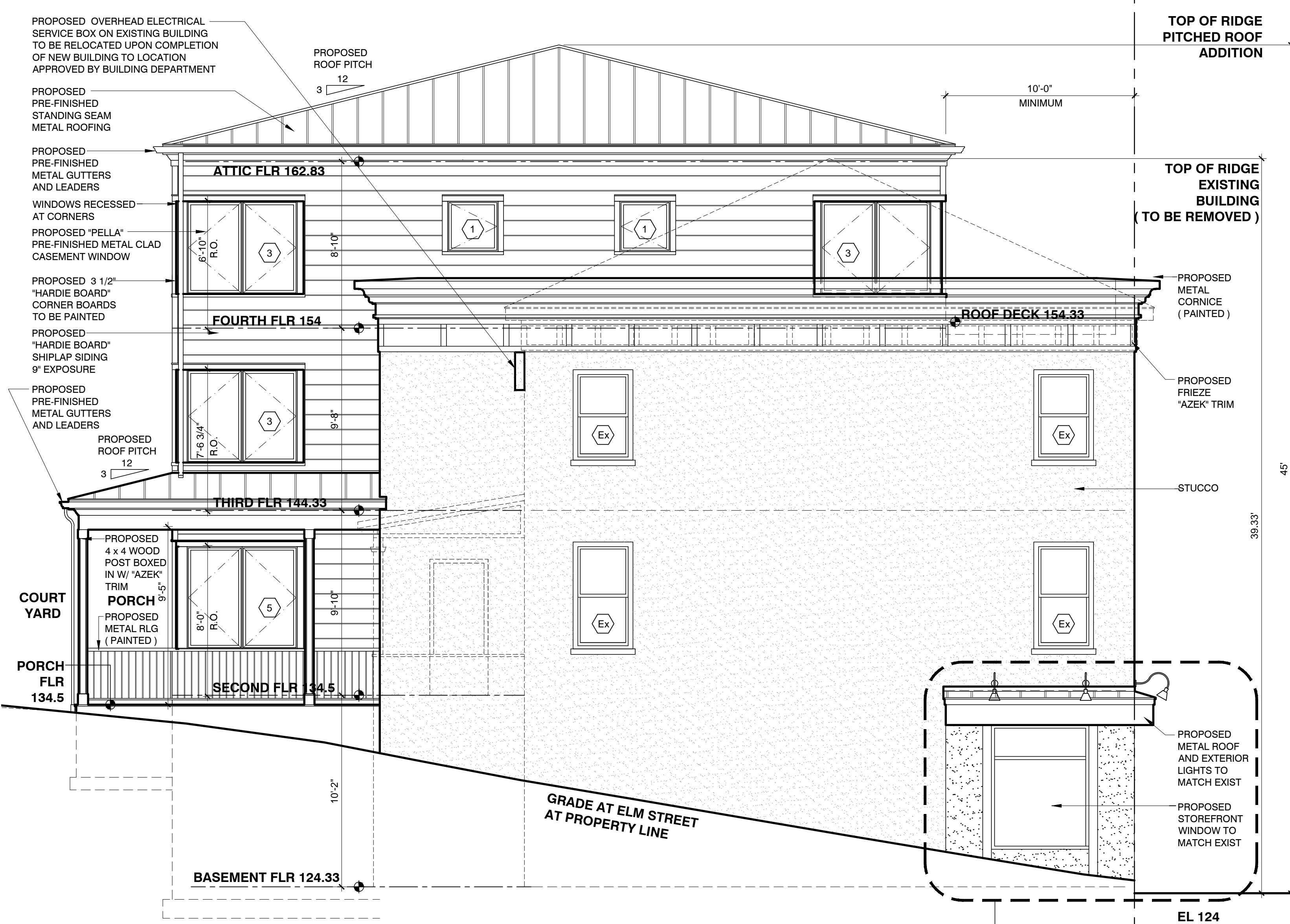


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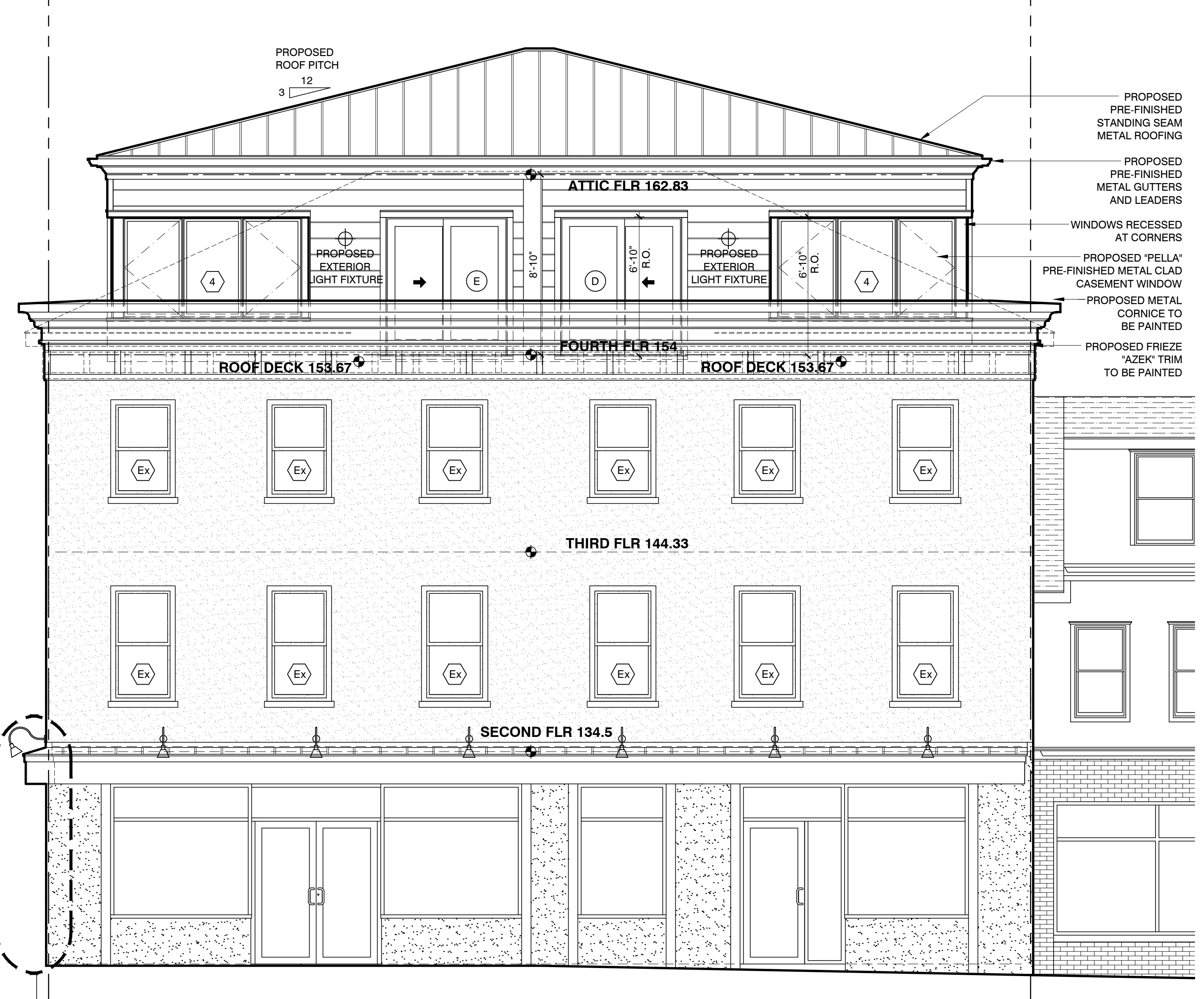
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 DOBBS FERRY, NY 10522  
 PROJECT NO.: 0805

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 REVISED 02-13-2020  
 NORTH ELEVATION ADDED PROPOSED OVERHEAD ELECTRICAL SERVICE BOX TO EXISTING BUILDING.  
 SUBMITTED TO BOARD OF TRUSTEES 02-13-2020  
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 SUBMITTED TO BOARD OF TRUSTEES 11-03-2020



1 NORTH ELEVATION ( ELM STREET )  
 A-3.1 SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET

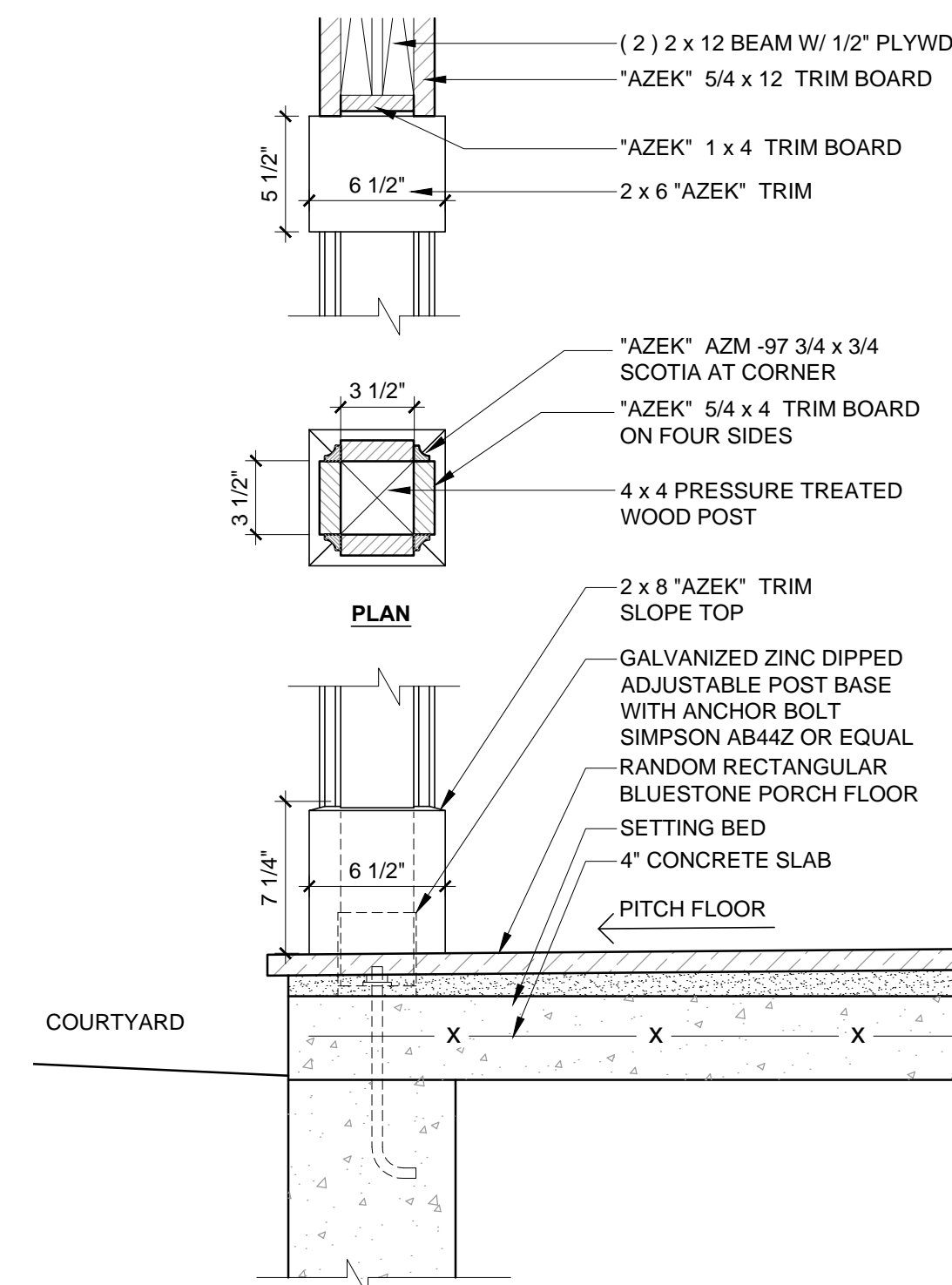


2 WEST ELEVATION ( MAIN STREET )  
 A-3.1 SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET

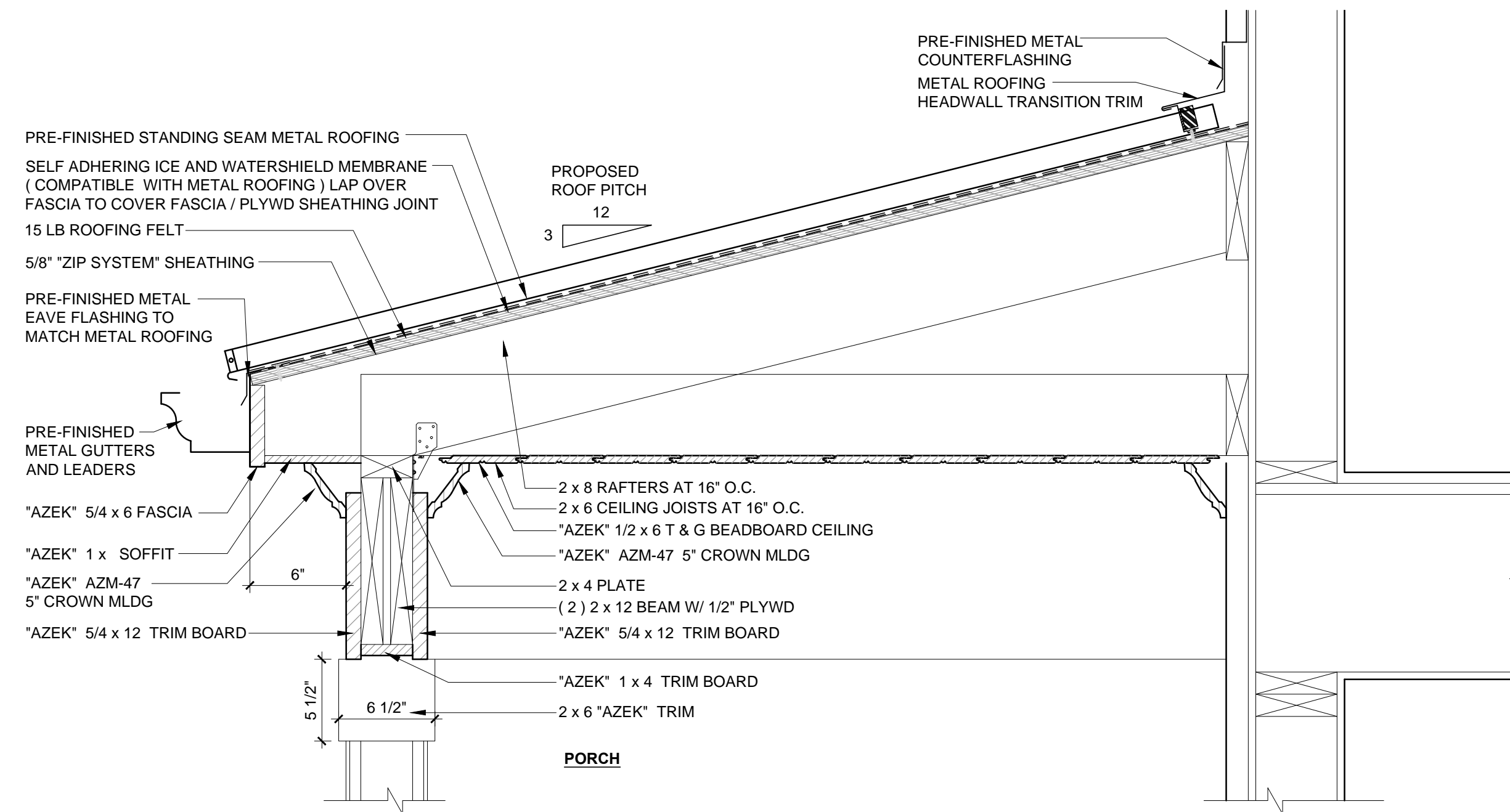
SHEET TITLE  
 NORTH AND WEST ELEVATIONS  
 DRAWN BY: GS  
 APPROVED BY: PRS

SHEET NUMBER  
**A-3.1**

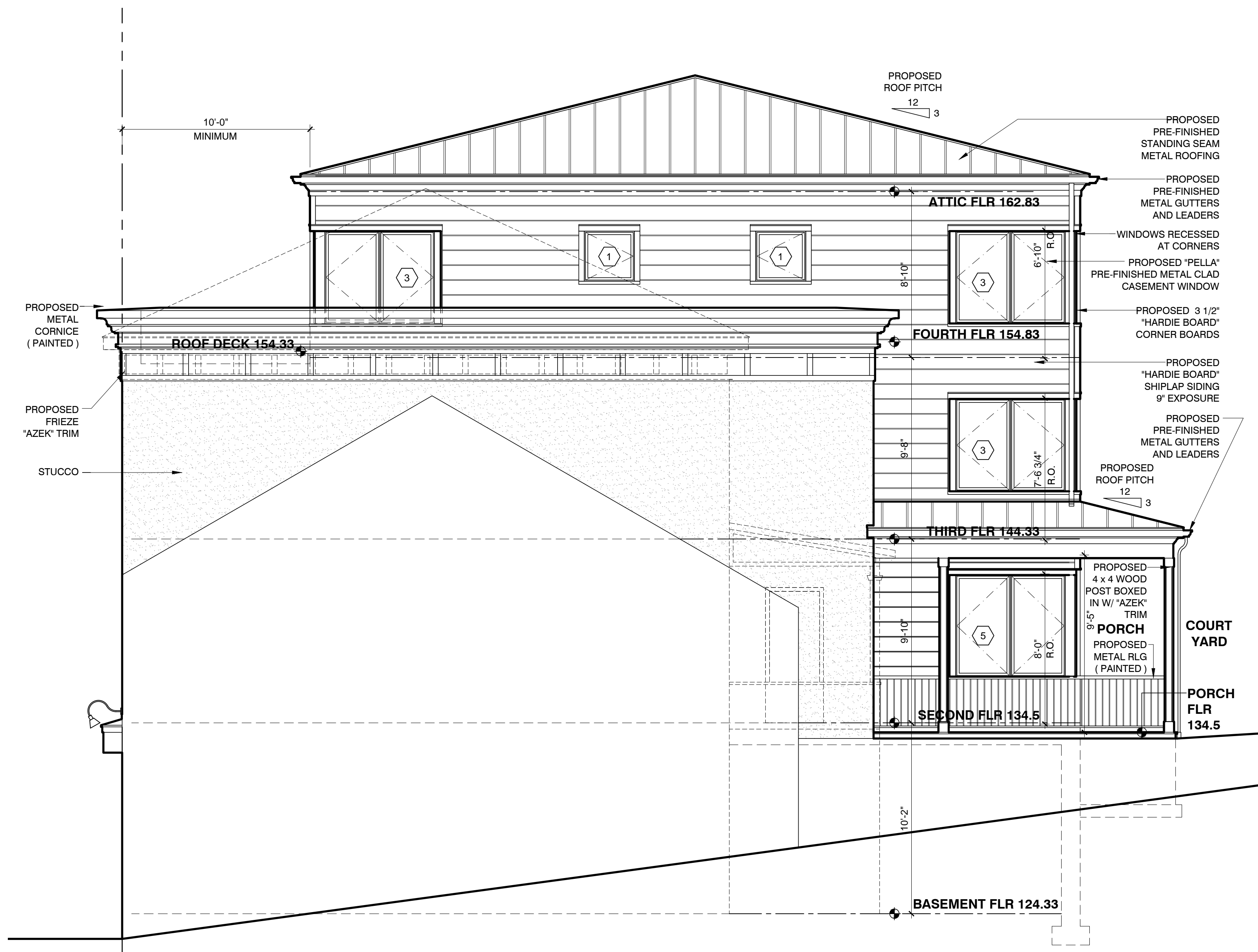




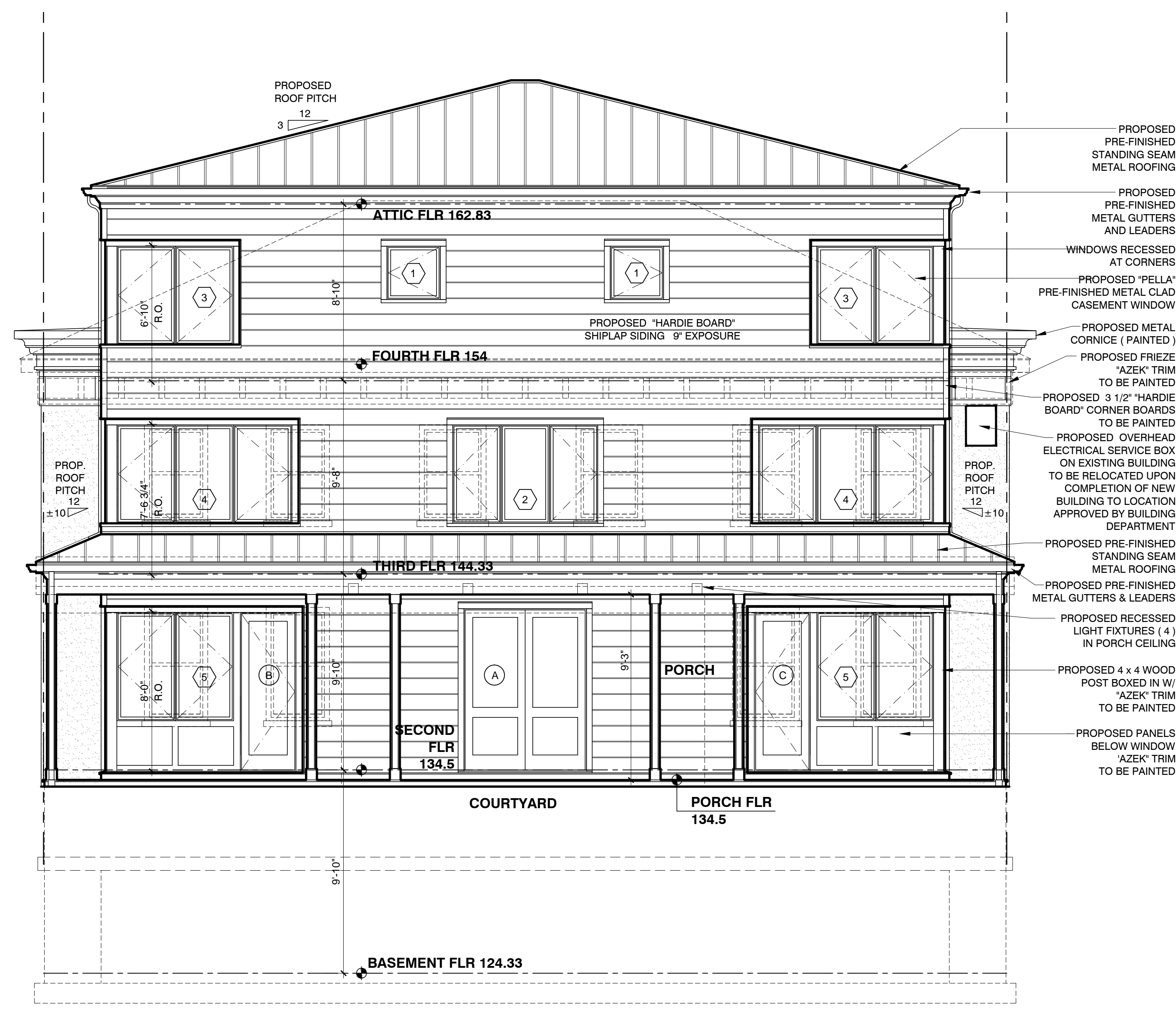
4  
A-3.2 **PORCH POST DETAIL**  
SCALE : 1 1/2" = 1'-0" GRAPHIC SCALE IN FEET



3  
A-3.2 **PORCH ROOF DETAIL**  
SCALE : 1 1/2" = 1'-0" GRAPHIC SCALE IN FEET

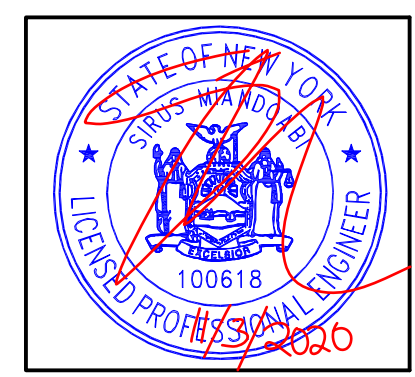


1  
A-3.2 **SOUTH ELEVATION**  
SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET



2  
A-3.2 **EAST ELEVATION ( COURTYARD )**  
SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET

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 PROJECT NO.: **0805**

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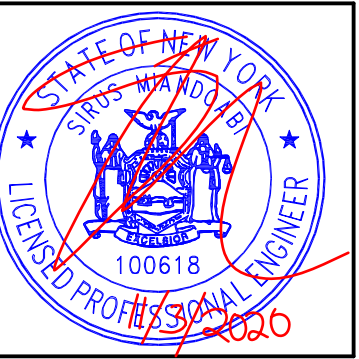
SUBMITTED TO AHRB 01-02-2020  
 REVISIONS 02-13-2020  
 EAST ELEVATION  
 ADDED PROPOSED OVERHEAD ELECTRICAL SERVICE BOX TO EXISTING BUILDING.  
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SHEET TITLE  
**SOUTH AND EAST ELEVATIONS**  
 DRAWN BY: GS  
 APPROVED BY: PRS

SHEET NUMBER  
**A-3.2**

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PROJECT TITLE:  
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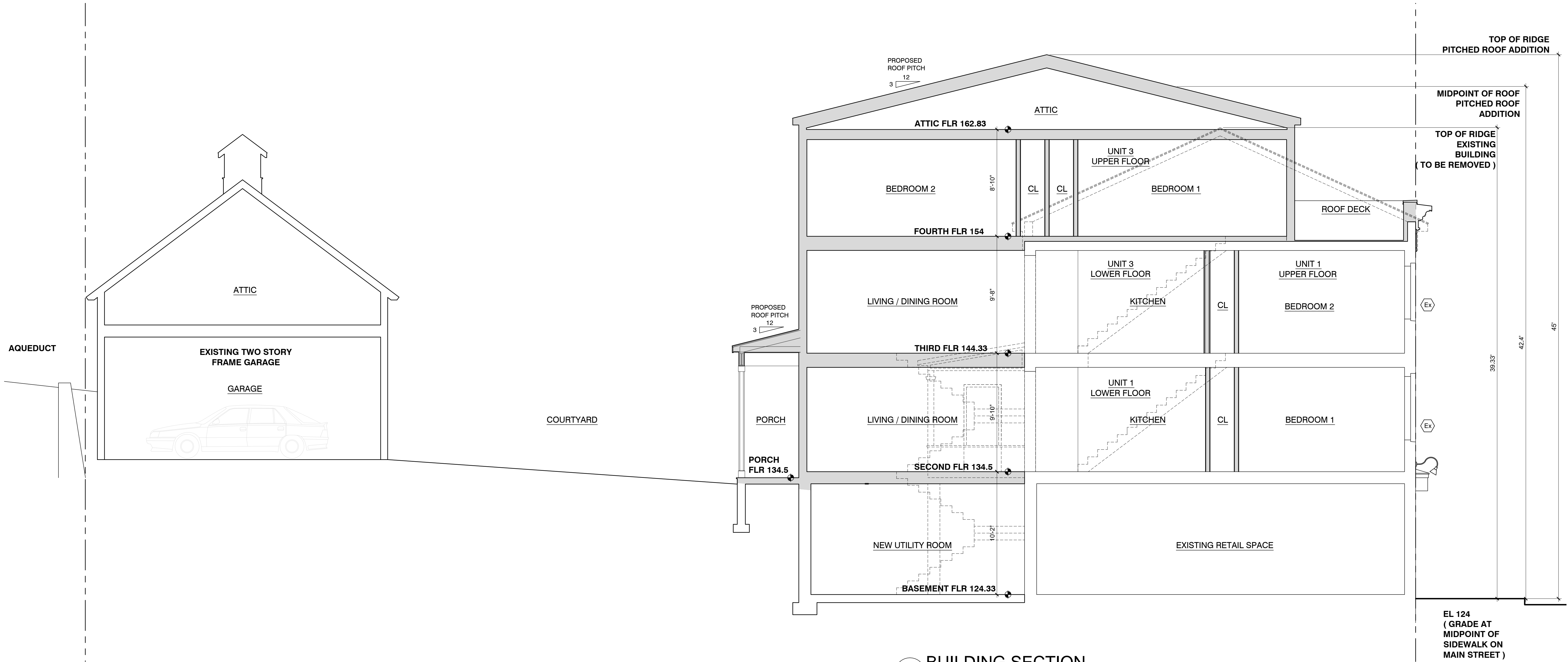
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**BUILDING SECTION**  
SCALE : 1/4" = 1'-0"  
GRAPHIC SCALE IN FEET  
0 1 2 4 8

SHEET TITLE  
BUILDING SECTION

DRAWN BY: GS  
APPROVED BY: PRS

SHEET NUMBER  
**A-4.1**