

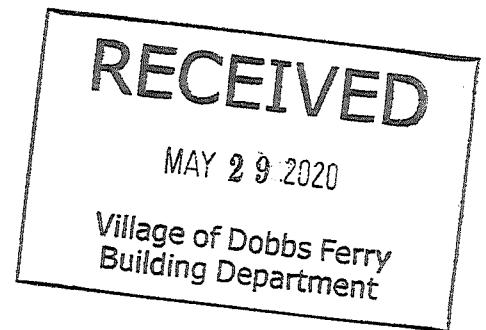
GOTHAM

Padriac Steinschneider
Gotham Design & Community Development Ltd.
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Dobbs Ferry, New York 10522
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May 28, 2020

Dobbs Ferry Architectural and Historic Review Board
112 Main Street
Dobbs Ferry, New York 10522

Re: 1 Myrtle Avenue
Ostrow Residence



Dear Members of Architectural and Historic Review Board:

Last May, the Architectural and Historic Review Board (AHRB) approved the design for a three car garage with habitable space above for 1 Myrtle Avenue, which is on the corner of Myrtle and Washington Avenues. Construction began several months ago and the site regrading has been completed to rough grade. The foundation and retaining walls have been completed and the framing is now in process. Yesterday was the first time that the owners of the house were able to see the massing as it had been changed in response to the comments from the members of the AHRB. They are not happy with the massing.

When we first prepared ideas for the addition we considered two alternative locations on the site and the correct decision was made for the garage to be a projection to the east from the existing roof line. The AHRB expressed concerns that the massing we were showing, with a ridge above the garage determined by the existing roof lines running the full length of the garage, would overpower the house. We convinced the owners to allow us to eliminate the east third of the addition above the garage to mitigate that concern. Now that we are able to see the massing in its location context, making that change to the design was a mistake. We understand the owner's objections and we agree. There is a character to the garage that wants the roof above it to be symmetrical. There is absolutely no issue with the height, massing, or size of the addition. We have discussed this with the architect for the project, Laura Wakefield, and she also agrees.

We are requesting to make a change to the approved design to restore the symmetrical roof above the garage, which will follow from the massing of the existing roof on the house. This adds approximately 280 square feet of habitable area, converting what was going to be a storage attic above the easy bay of the garage to an expansion of the children's play room above.

Submitted with this letter please find a set of five sheets of revised drawings prepared under the supervision of Laura Wakefield, R.A., dated as revised May 28, 2020, including the following:

Sheet A-2.1	"Proposed First Floor Plan"
Sheet A-2.2	"Proposed Second Floor Plan"
Sheet A-3.1	"Proposed South and East Elevations"
Sheet A-3.2	"Proposed North and West Elevations"
Sheet L-1	"Landscaping Plan"

Letter to the Dobbs Ferry Architectural and Historic Review Board

Re: 1 Myrtle Avenue

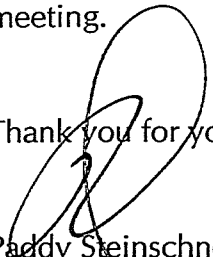
May 28, 2020

Page 2 of 2.

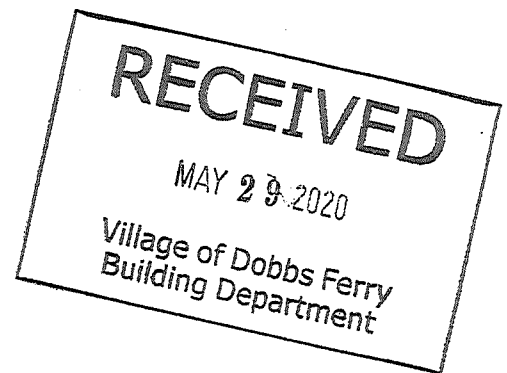
We have also included copies of the approved Sheets A-2.2, A-3.1, and A-3.2 for your reference so that you can see the differences. In my opinion, the revised design is far superior than the approved and, now that the massing can be seen in real life, it is clear that there is no concern with the addition overpowering the existing house or creating any kind of adverse condition for neighbors.

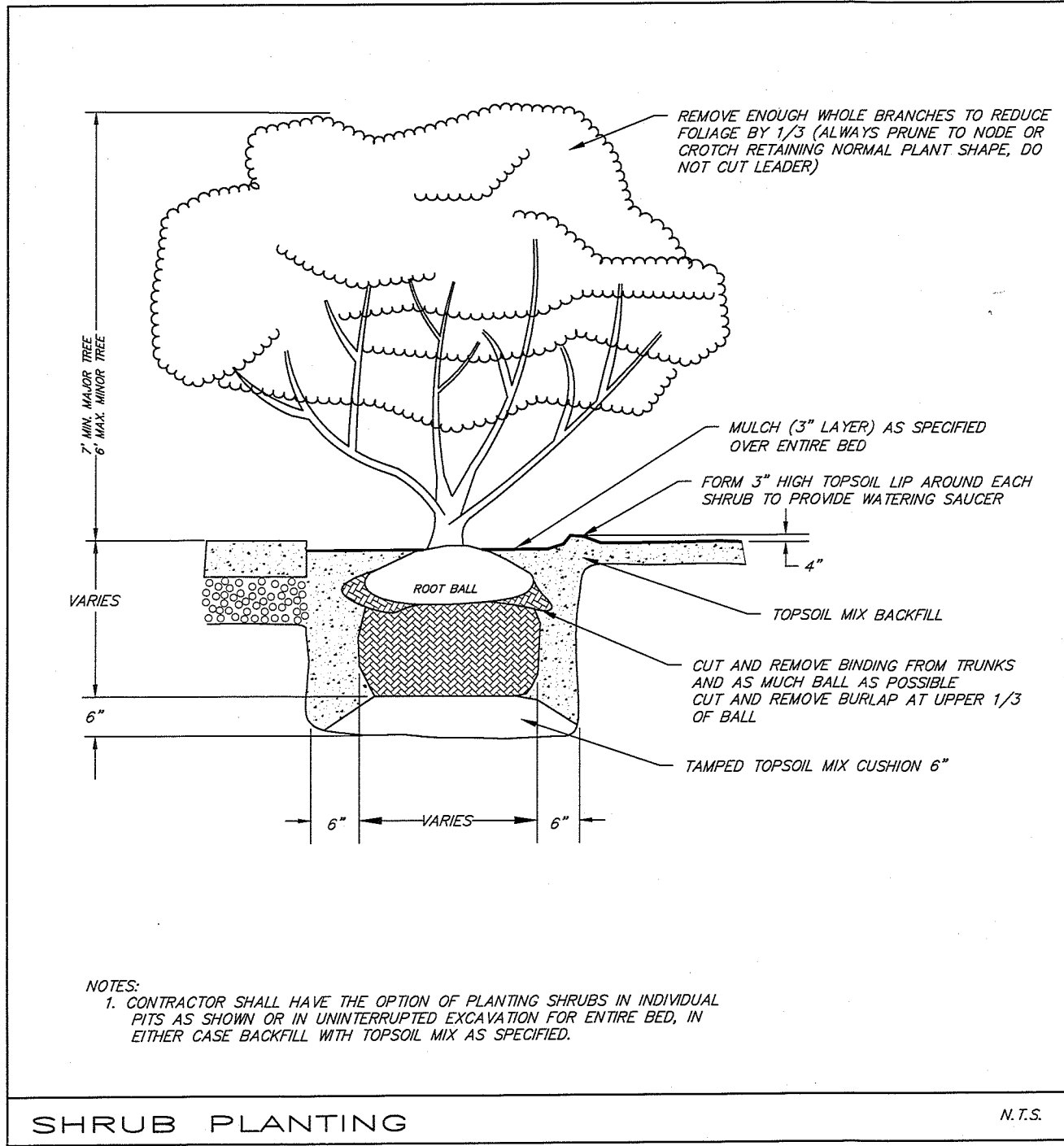
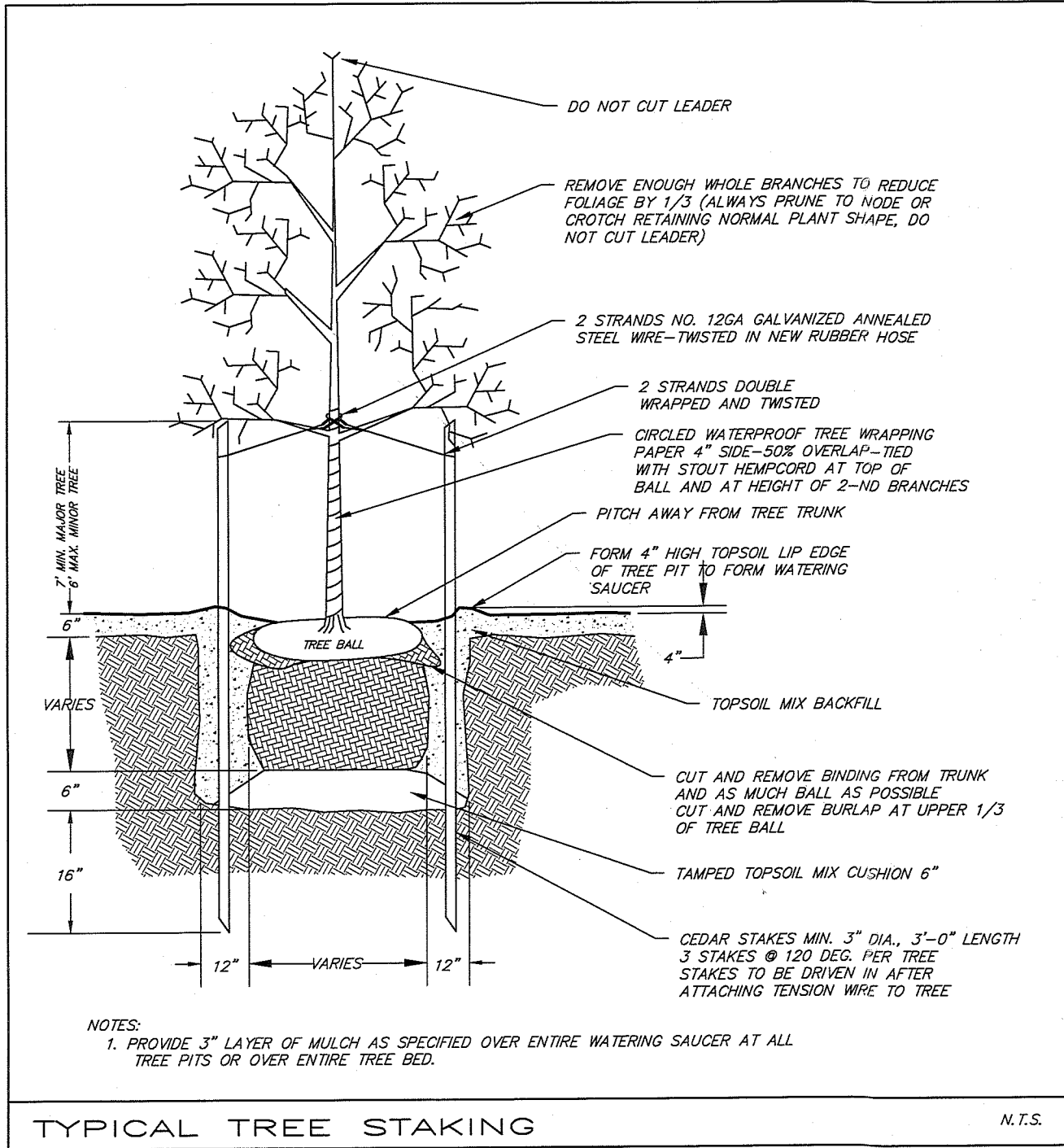
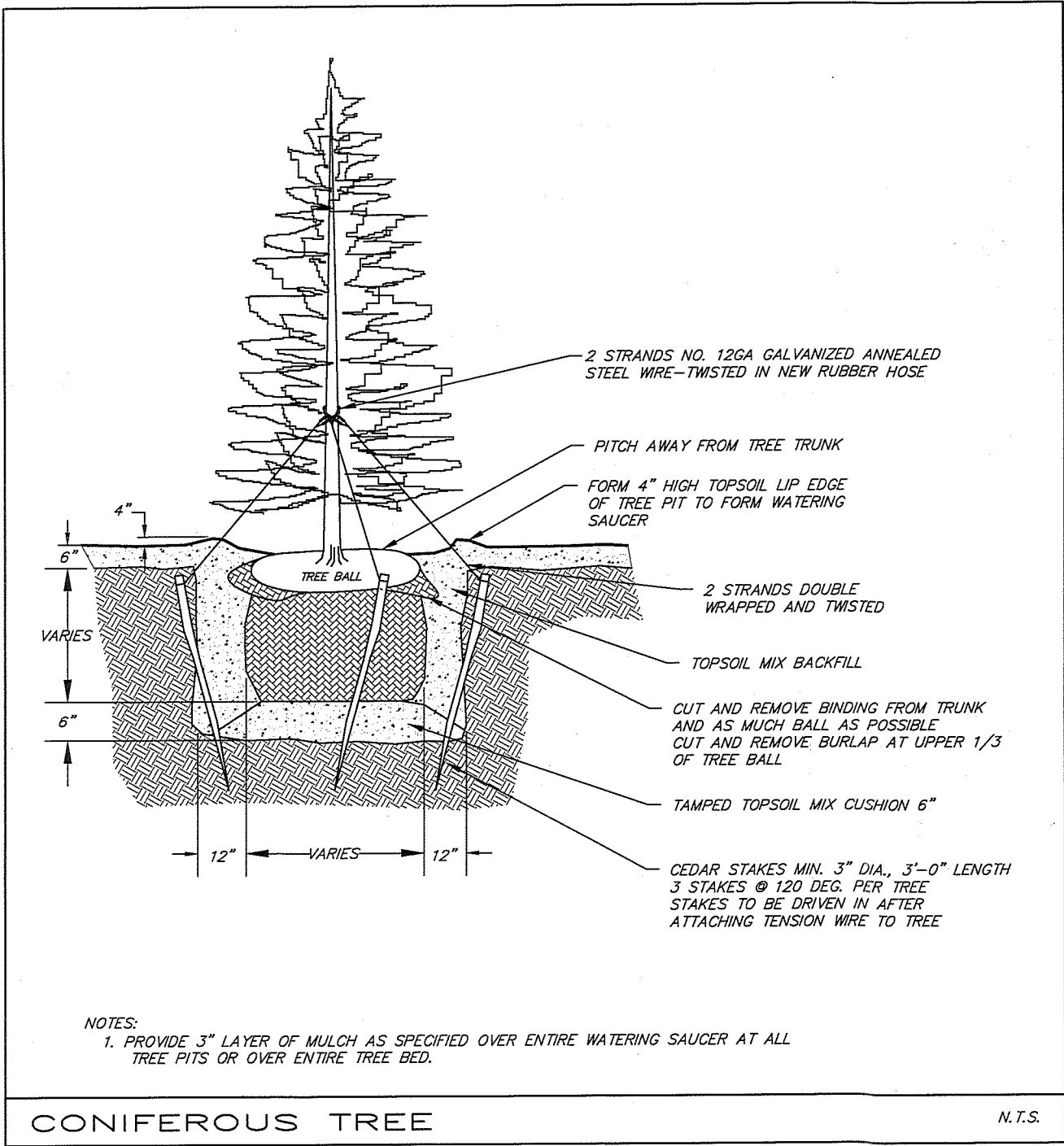
If you would like to walk the site, which I would recommend, please give me a call and I will coordinate with the owner. We look forward to this to you at the June 9, 2020 AHRB meeting.

Thank you for your time and attention on this,

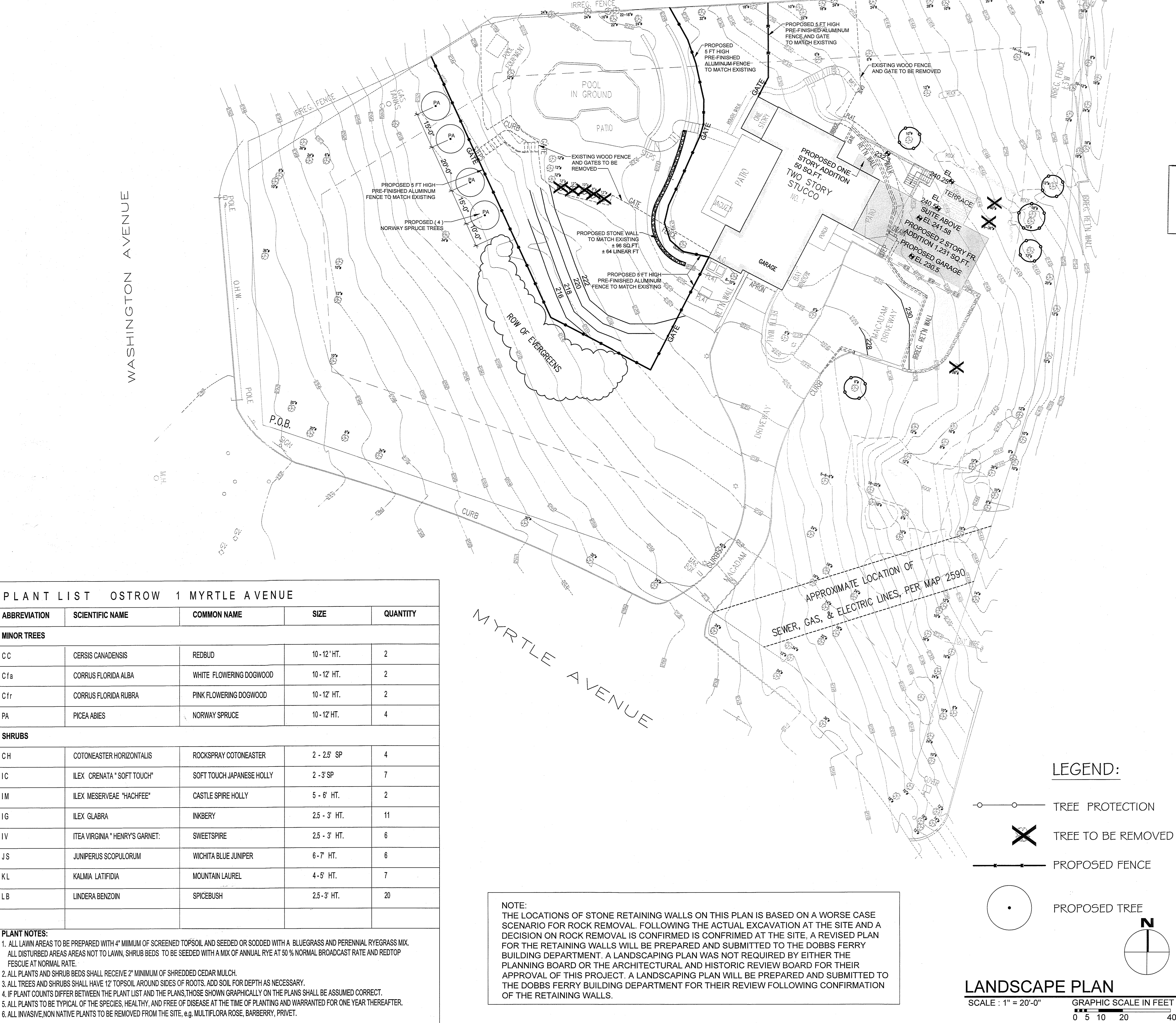

Paddy Steinschneider

As Agent for Adam and Kendall Ostrow, Owner





- FENCE NOTES:
1. FENCE SHALL BE, PRE-FINISHED ALUMINUM, 5 FEET IN HEIGHT TO MATCH EXISTING.
 2. GATES SHALL HAVE SELF-CLOSING HINGES AND BE LOCKABLE.
 3. FENCING SHALL WEAVE THROUGH OR BE ADJACENT TO EXISTING PLANT MATERIAL.



LAURA WAKE
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TEL: 914 693-3299
N.Y.S STATE LICENSE NO. 27038

RECEIVED
MAY 29 2020
Village of Dobbs Ferry
Building Department

PROJECT TITLE:
OSTROW
1 MYRTLE AVENUE

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT
329 Broadway
Dobbs Ferry, N.Y. 11362
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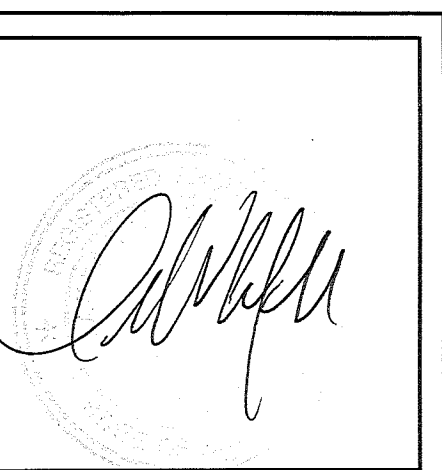
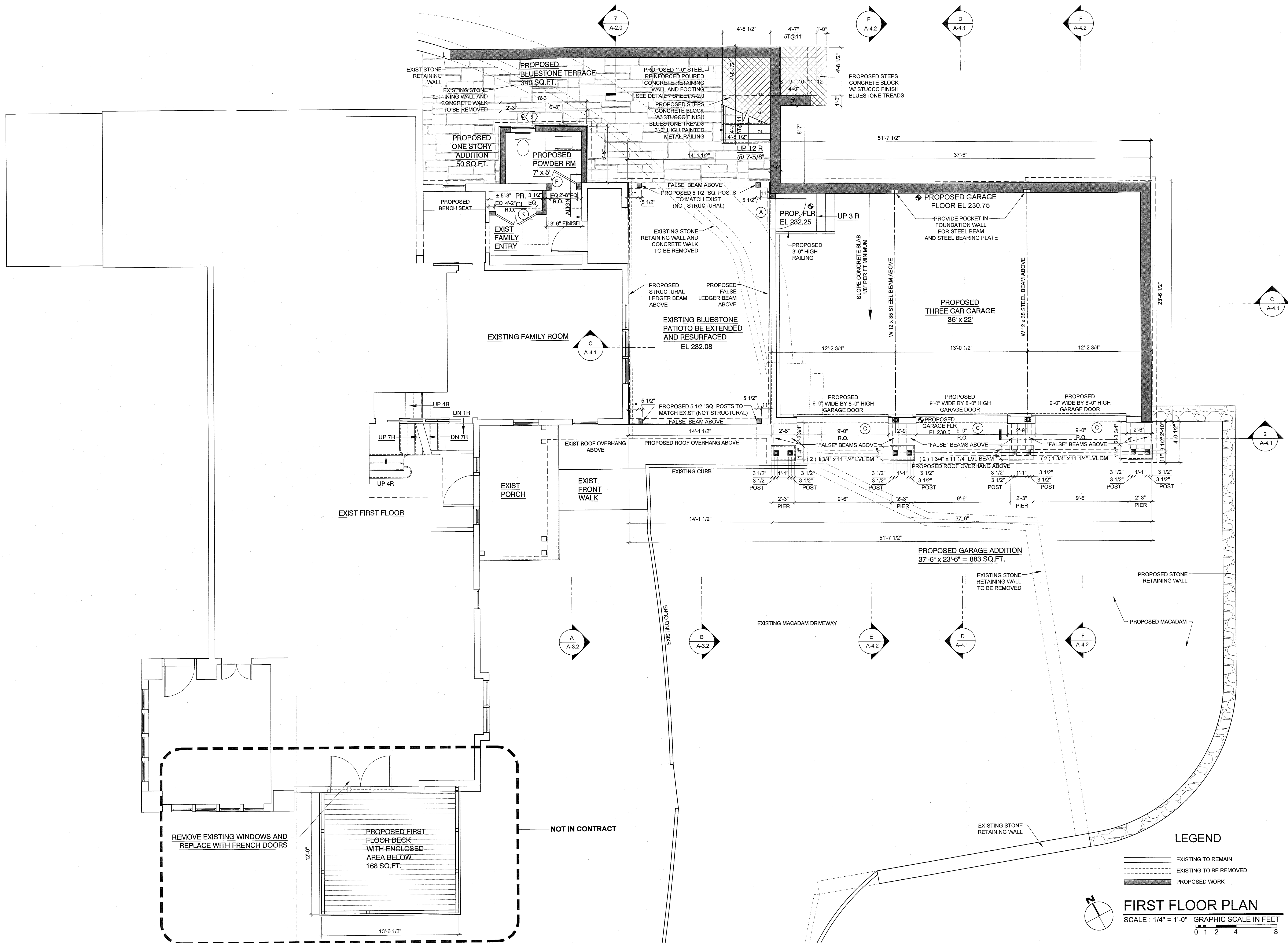
ISSUED FOR / REVISION
SUBMITTED FOR BUILDING PERMIT
REVISED
ELIMINATED PROPOSED STONE RET'G WALLS AND FENCE N
ELIMINATED PROPOSED STONE RET'G WALLS BEHIND GARAGE
REPLACED PROPOSED STONE RET'G WALL WITH STAIRS W/ CONCRETE WALL, BLUESTONE T
AND MASONRY STEPS
REMOVED EXIST WOOD AND GATES AROUND
REPLACED WITH 5 FT PRE-FIN. ALUM. FENCE TO MATCH EXISTING.
ADDED STONE WALL EXIST BETWEEN HOUSE
ADDED FOUR (4) NO SPRUCE TREES.
ADDED FENCE NOTES
AHRB SUBMISSION

SHEET TITLE:
**LANDSCAPE PLAN
DETAILS
PLANT LIST**

DATE:
03-20-2020
SCALE:
AS NOTED

DRAWN BY:
ME
CHECKED BY:
CH
PROJECT NO:
PR

L-1



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TEL: 914 693 6165
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PROJECT TITLE:
ADAM AND KENDALL OSTROW
1 MYRTLE AVENUE
DOBBS FERRY, NEW YORK 10522
PROJECT NO.: **1807**

GOTHAM DESIGN
AND COMMUNITY DEVELOPMENT LTD.

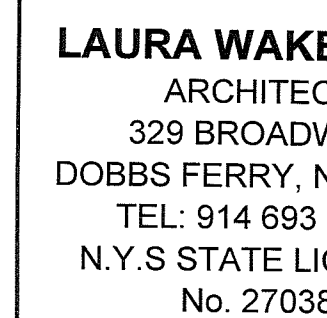
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ISSUED / REVISIONS:
AHRB SUBMISSION 04-11-2019
AHRB SUBMISSION 04-30-2019
REVISED AS PER AHRB COMMENTS
AHRB SUBMISSION 05-31-2019
ALTERNATIVE DESIGN
BID SET 07-23-2019
REVISED 05-21-2020
REPLACED DRY STONE RET'G WALL AND WOOD STAIRS W/ CONCRETE RET'G WALLS AND MASONRY STEPS
AHRB SUBMISSION 05-28-2020

SHEET TITLE:
FIRST FLOOR PLAN

DATE: 04-11-2019	DRAWN BY: MB
SCALE: AS NOTED	CHECKED BY: PRS

A-2.1



PROJECT TITLE:
ADAM AND KENDALL OSTROW
1 MYRTLE AVENUE

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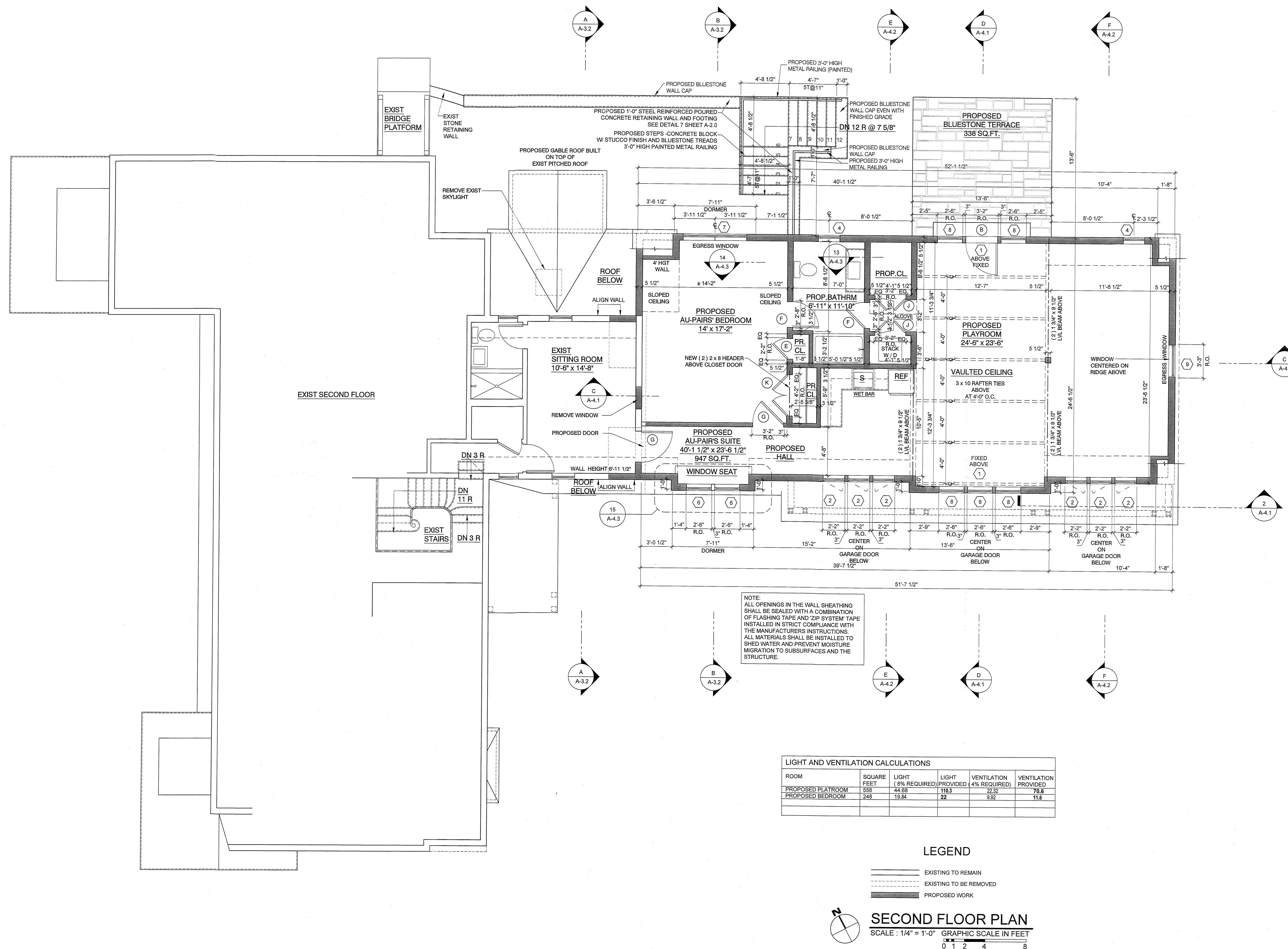
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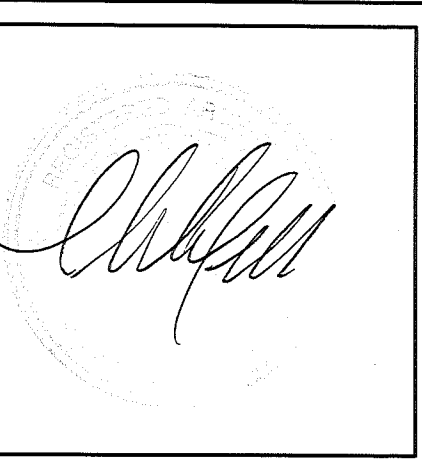
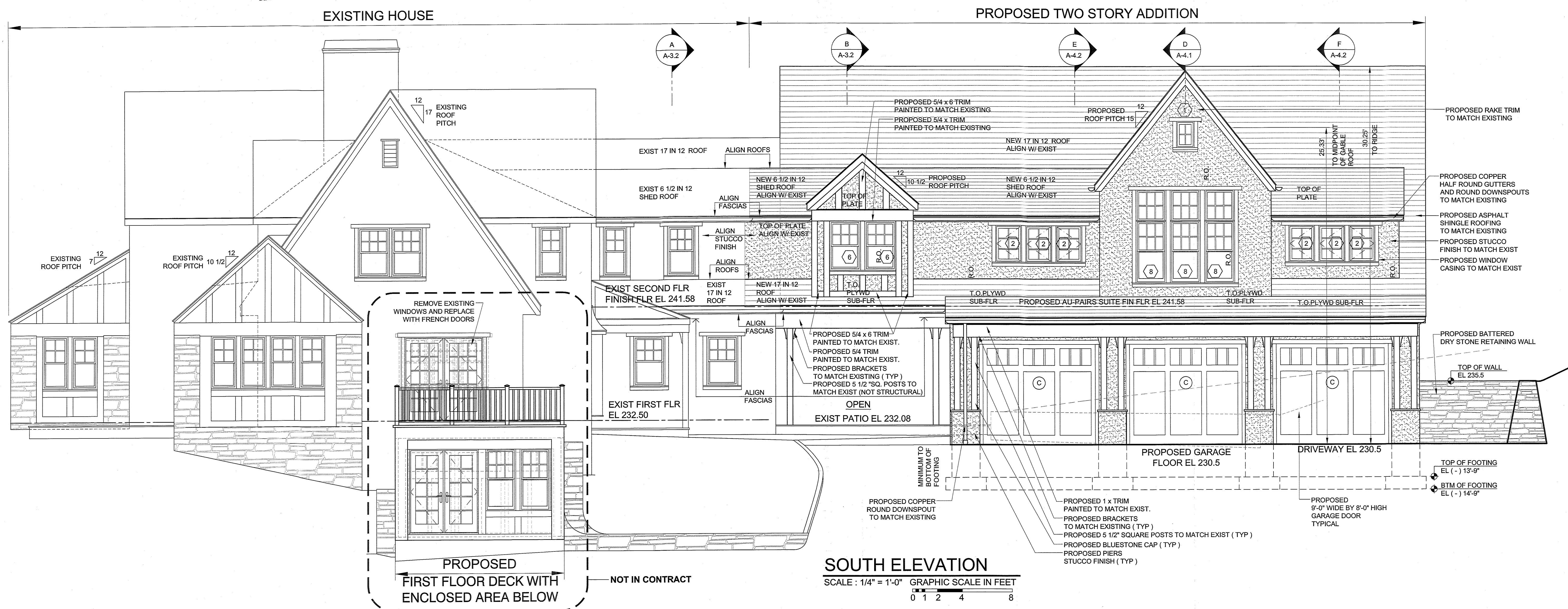
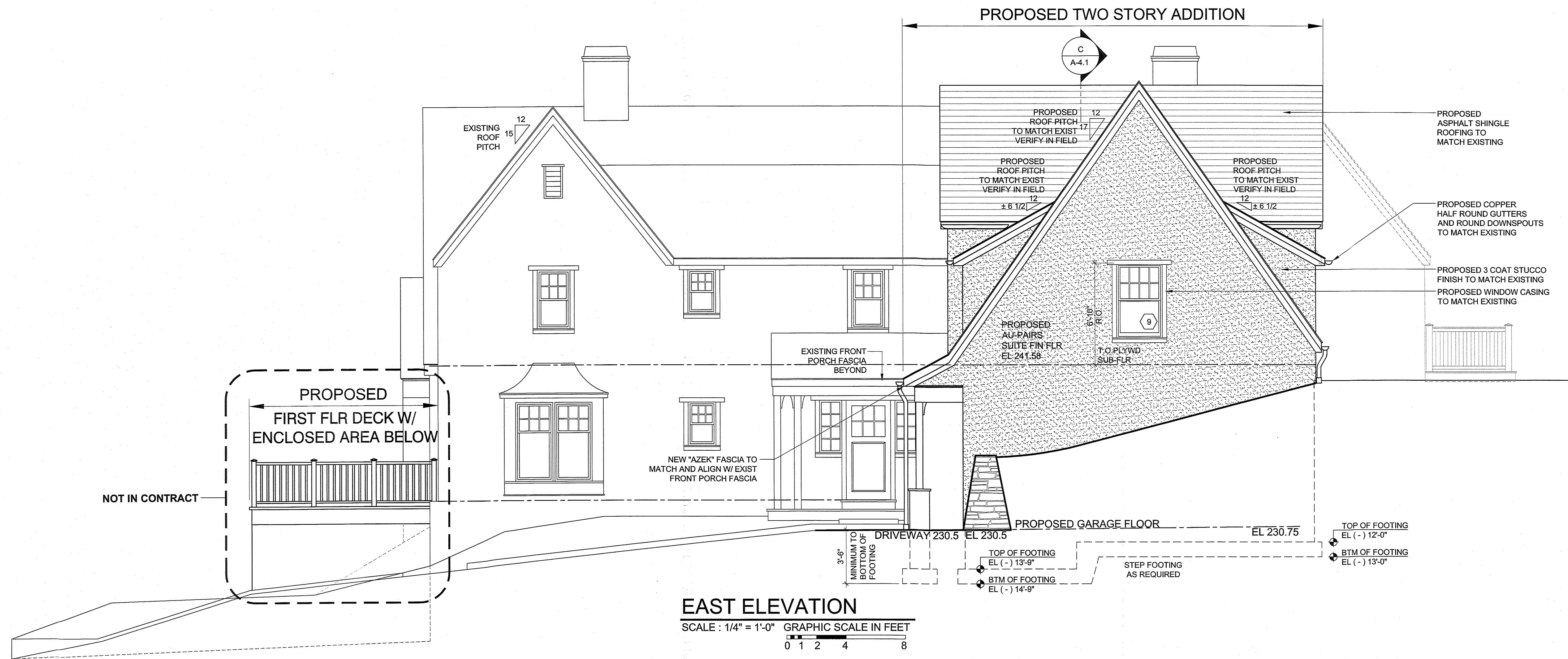
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AHRB SUBMISSION	04
REVISED AS PER AHRB COMMENTS	
AHRB SUBMISSION	
ALTERNATIVE DESIGN	
REVISED AS PER 06-0	
AHRB COMMENTS AFTER SITE WALK ON 06-02-201	
BID SET	07-23-2019
REVISED	
REPLACED DRY STONE WALL AND WOOD STAIR CONCRETE RET'G WALL MASONRY STEPS	
AHRB SUBMISSION	

SHEET TITLE:
SECOND FLOOR

DATE: 04-05-2019	DRAWN: MB
SCALE: AS NOTED	CHECKED: PRS

A-2.





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 PROJECT NO.: 1807

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ISSUED / REVISIONS:

AHRB SUBMISSION	04-11-2019
AHRB SUBMISSION	04-30-2019
REVISED AS PER AHRB COMMENTS	
AHRB SUBMISSION	05-31-2019
ALTERNATIVE DESIGN	
REVISED AS PER	06-04-2019
AHRB COMMENTS AFTER SITE WALK ON	06-02-2019
BID SET	07-23-2019
REVISED	05-21-2020
EAST ELEVATION CHANGED PITCH OF ROOF OVER STORAGE ROOM FROM 6.5 IN 12 TO 8 IN 12	
ADDED WINDOW # 9	
REPLACED TWO # 2 WINDOWS WITH TWO NEW # 3 WINDOWS	
AHRB SUBMISSION	05-28-2020

SHEET TITLE:
PROPOSED SOUTH AND EAST ELEVATIONS

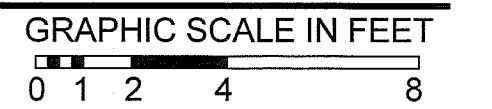
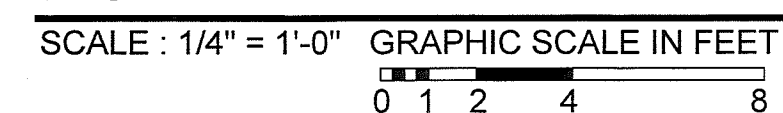
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A-3.1



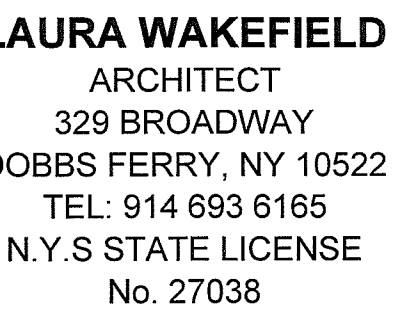
GRAPHIC SCALE IN FEET

A horizontal scale bar with markings at 0, 1, 2, 4, and 8 feet. The bar is divided into segments: 0 to 1 is white, 1 to 2 is black, 2 to 4 is white, and 4 to 8 is black.

PROPOSED ONE
STORY ADDITION

A-3.2

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1 MYRTLE AVENUE
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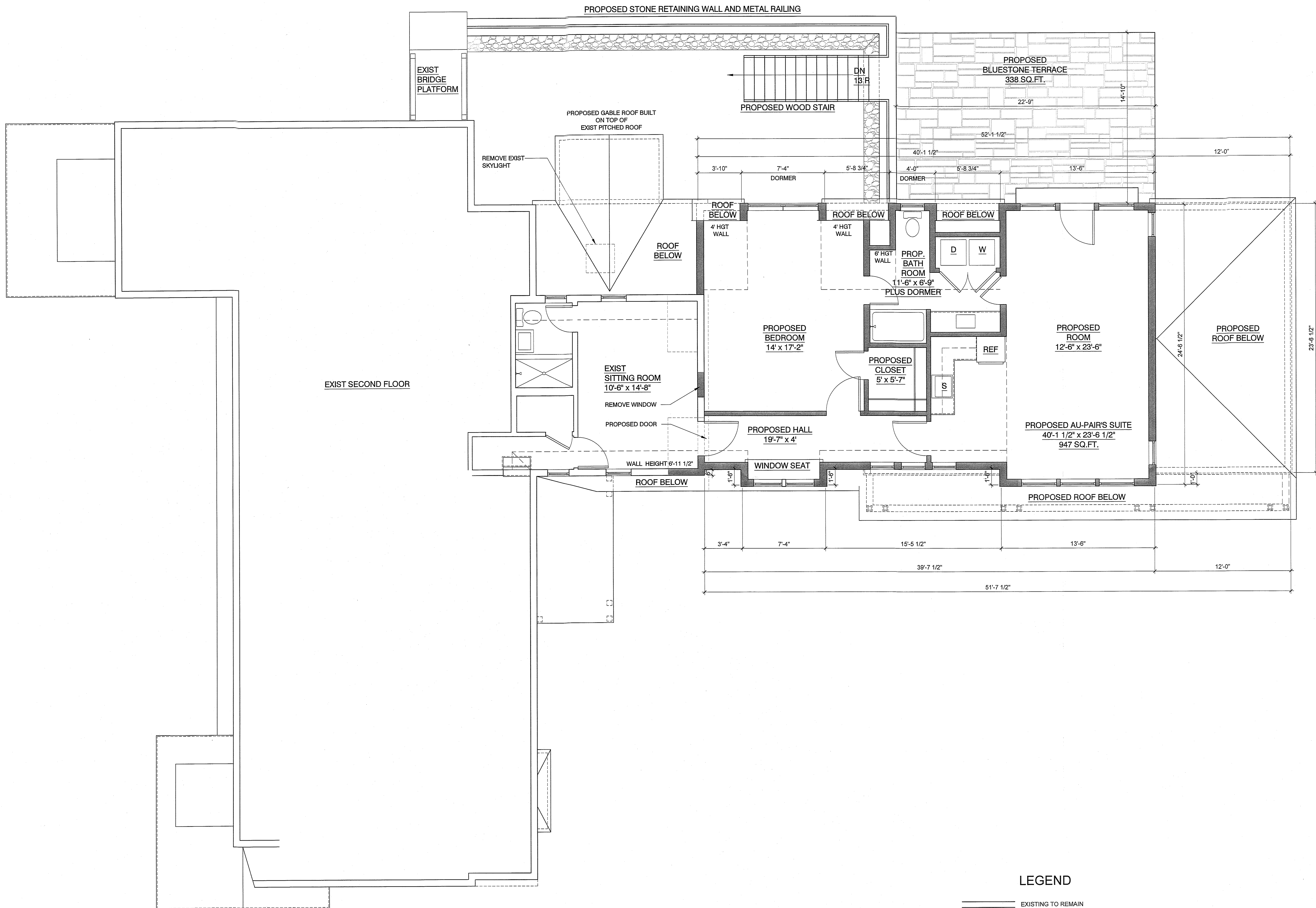
ISSUED / REVISIONS:	
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HRB SUBMISSION	04-30-2019
REVISED AS PER AHRB COMMENTS	
HRB SUBMISSION	05-31-2019
ALTERNATIVE DESIGN	

SHEET TITLE:


SECOND FLOOR PLAN

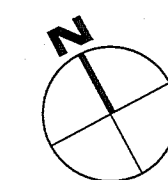
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A-2.2



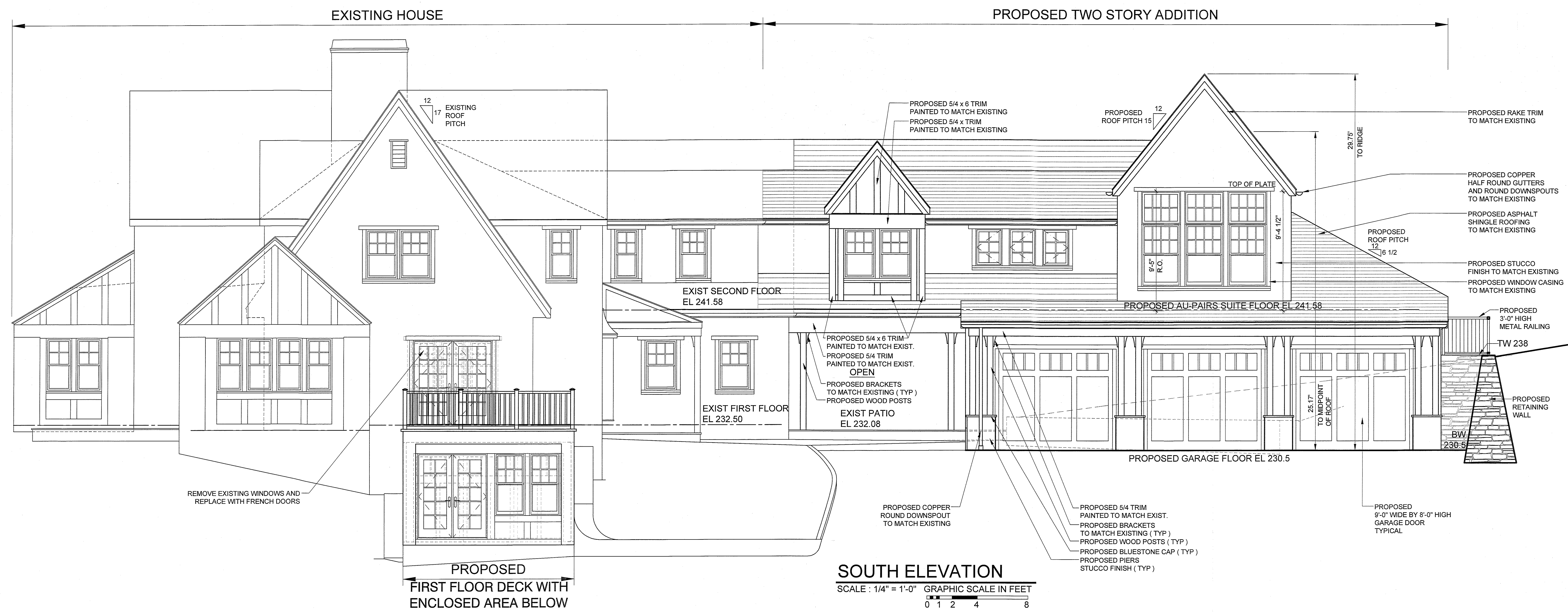
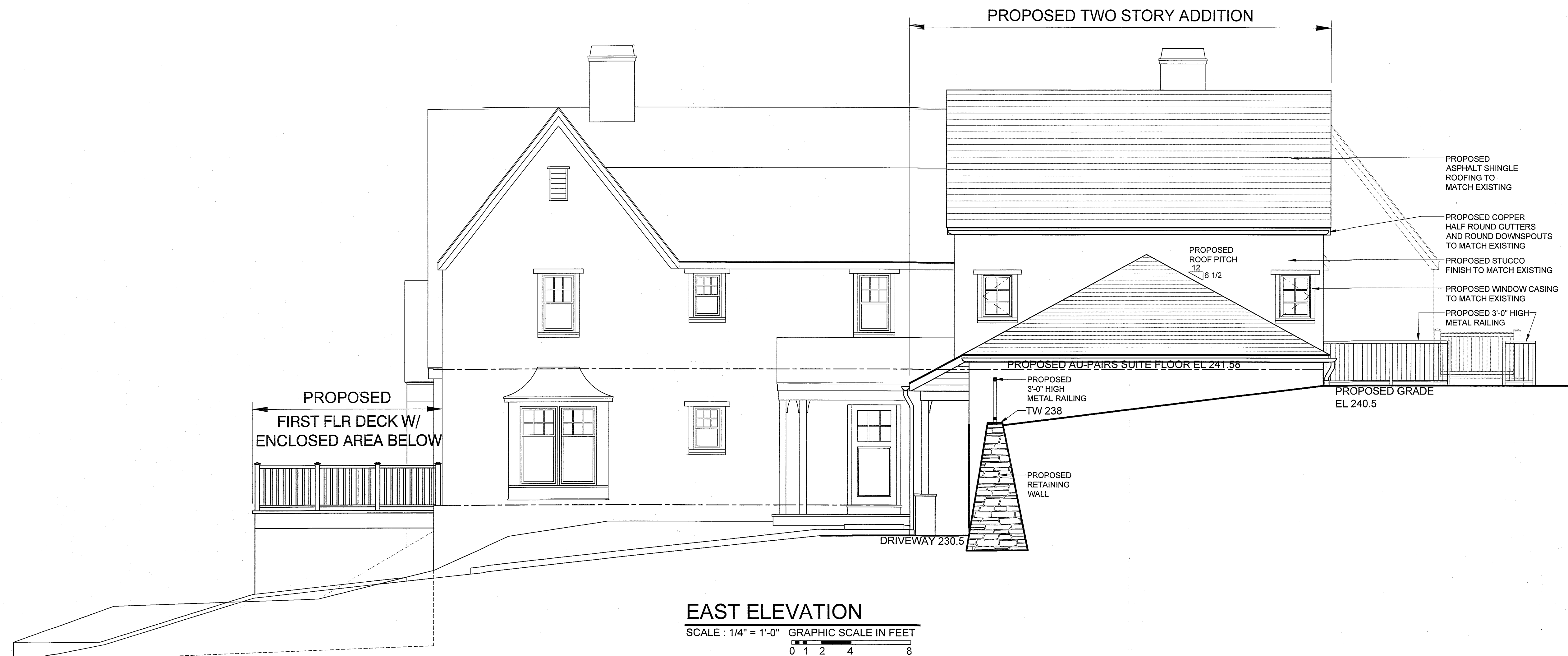
LEGEND

 EXISTING TO REMAIN
 EXISTING TO BE REMOVED
 PROPOSED WORK



SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET





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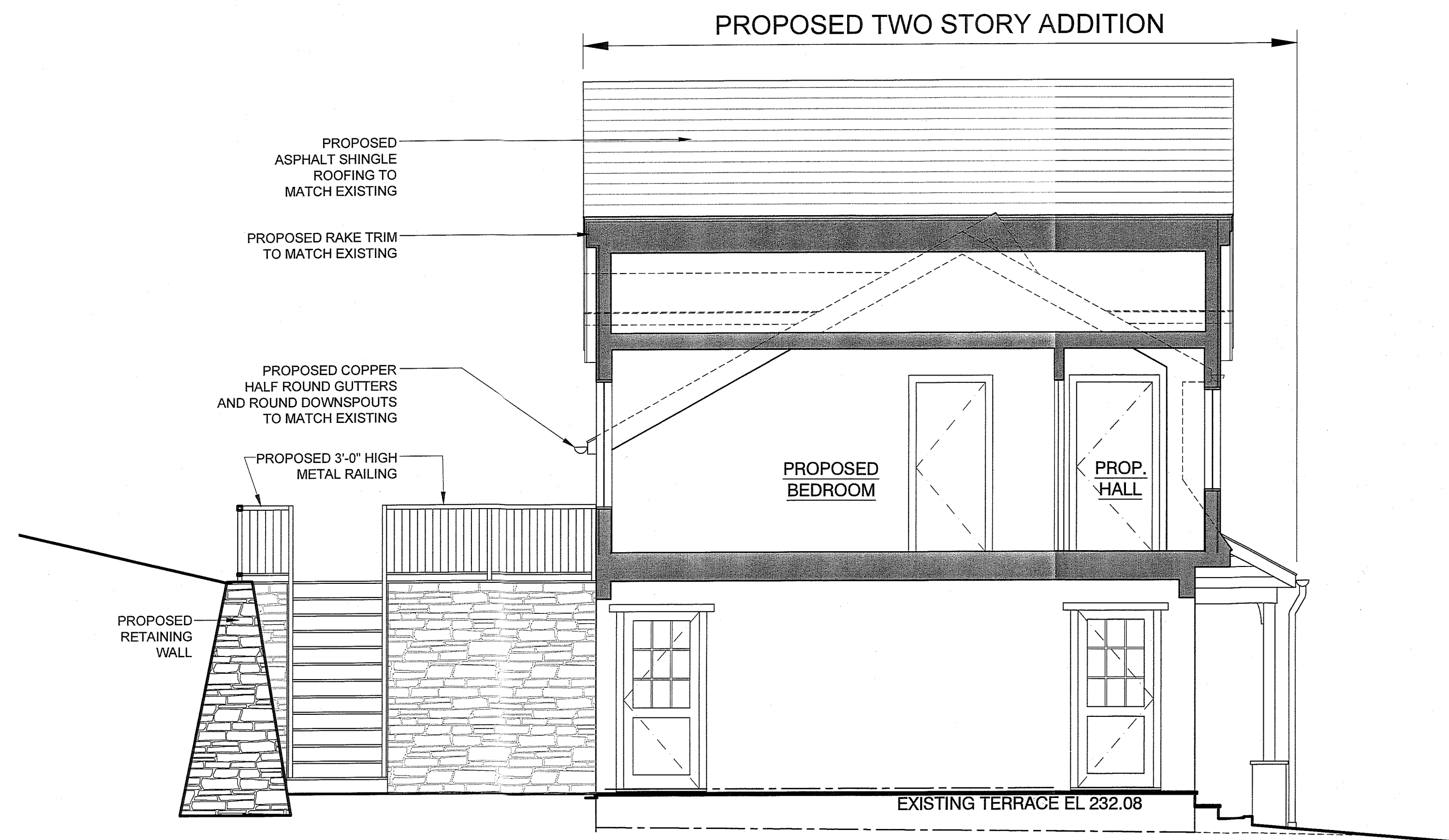
ISSUED / REVISIONS:

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AHRB SUBMISSION	04-30-2019
REVISED AS PER AHRB COMMENTS	
AHRB SUBMISSION	05-31-2019
ALTERNATIVE DESIGN	

SHEET TITLE:
PROPOSED SOUTH AND EAST ELEVATIONS

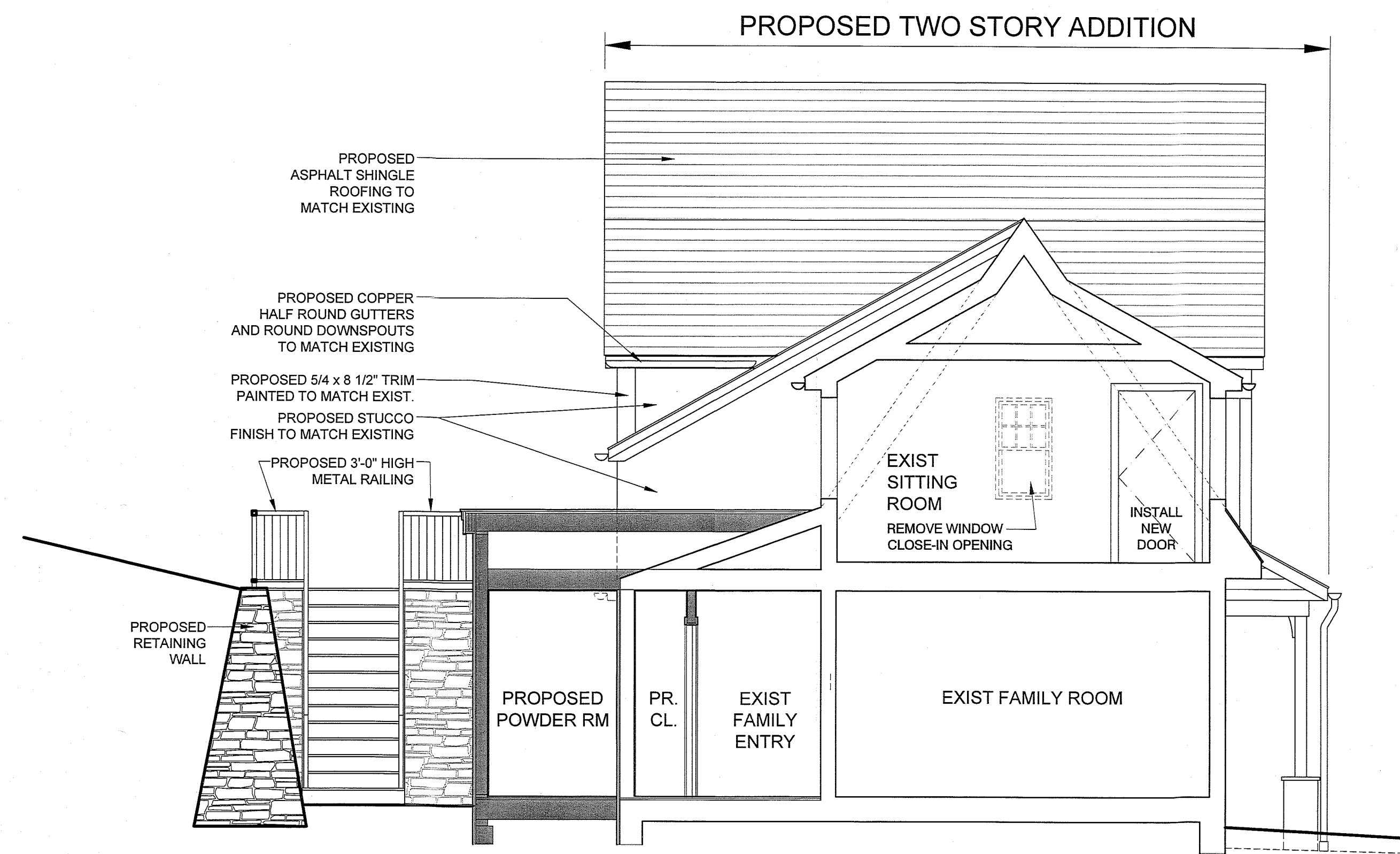
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SCALE: AS NOTED	CHECKED BY: PRS

A-3.1



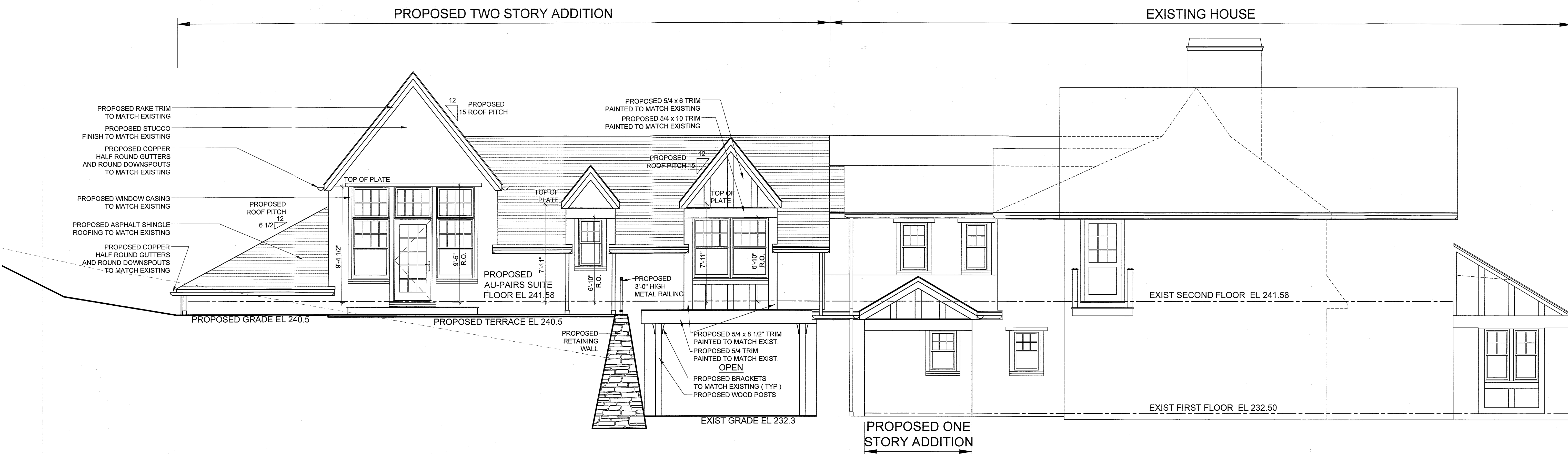
WEST ELEVATION / SECTION THRU PROPOSED SECOND FLOOR BEDROOM
SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET
0 1 2 4 8



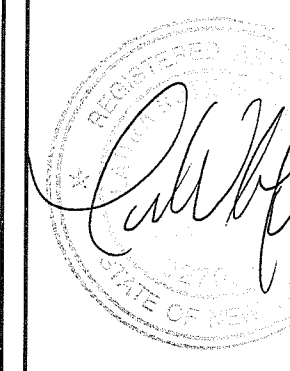
WEST ELEVATION / SECTION THRU PROPOSED FIRST FLR POWDER RM AND EXIST HOUSE
SCALE : 1/4" = 1'-0"

GRAPHIC SCALE IN FEET
0 1 2 4 8



NORTH ELEVATION

SCALE : 1/4" = 1'-0" GRAPHIC SCALE IN FEET
0 1 2 4 8



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1 MYRTLE AVENUE

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ISSUED / REVISIONS:
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AHRB SUBMISSION
REVISED AS PER AHRB
COMMENTS
AHRB SUBMISSION
ALTERNATIVE DESIGN

SHEET TITLE:
**PROPOSED
NORTH AND WEST
ELEVATION**

DATE:
04-05-2019
SCALE:
AS NOTED

DRAWN BY:
MB
CHECKED BY:
PR

A-3.