GOTHAM

Padriac Steinschneider

Gotham Design & Community Development Ltd. 329 Broadway

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May 28, 2020

Dobbs Ferry Architectural and Historic Review Board 112 Main Street Dobbs Ferry, New York 10522

Re:

1 Myrtle Avenue Ostrow Residence RECEIVED

MAY 2 9 2020

Village of Dobbs Ferry Building Department

Dear Members of Architectural and Historic Review Board:

Last May, the Architectural and Historic Review Board (AHRB) approved the design for a three car garage with habitable space above for 1 Myrtle Avenue, which is on the corner of Myrtle and Washington Avenues. Construction began several months ago and the site regrading has been completed to rough grade. The foundation and retaining walls have been completed and the framing is now in process. Yesterday was the first time that the owners of the house were able to see the massing as it had been changed in response to the comments from the members of the AHRB. They are not happy with the massing.

When we first prepared ideas for the addition we considered two alternative locations on the site and the correct decision was made for the garage to be a projection to the east from the existing roof line. The AHRB expressed concerns that the massing we were showing, with a ridge above the garage determined by the existing roof lines running the full length of the garage, would overpower the house. We convinced the owners to allow us to eliminate the east third of the addition above the garage to mitigate that concern. Now that we are able to see the massing in its location context, making that change to the design was a mistake. We understand the owner's objections and we agree. There is a character to the garage that wants the roof above it to be symmetrical. There is absolutely no issue with the height, massing, or size of the addition. We have discussed this with the architect for the project, Laura Wakefield, and she also agrees.

We are requesting to make a change to the approved design to restore the symmetrical roof above the garage, which will follow from the massing of the existing roof on the house. This adds approximately 280 square feet of habitable area, converting what was going to be a storage attic above the easy bay of the garage to an expansion of the children's play room above.

Submitted with this letter please find a set of five sheets of revised drawings prepared under the supervision of Laura Wakefield, R.A., dated as revised May 28, 2020, including the following:

Sheet A-2.1 "Proposed First Floor Plan"

Sheet A-2.2 "Proposed Second Floor Plan"

Sheet A-3.1 "Proposed South and East Elevations"

Sheet A-3.2 "Proposed North and West Elevations"

Sheet L-1 "Landscaping Plan"

Letter to the Dobbs Ferry Architectural and Historic Review Board

Re: 1 Myrtle Avenue

May 28, 2020 Page 2 of 2.

We have also included copies of the approved Sheets A-2.2, A-3.1, and A-3.2 for your reference so that you can see the differences. In my opinion, the revised design is far superior than the approved and, now that the massing can be seen in real life, it is clear that there is no concern with the addition overpowering the existing house or creating any kind of adverse condition for neighbors.

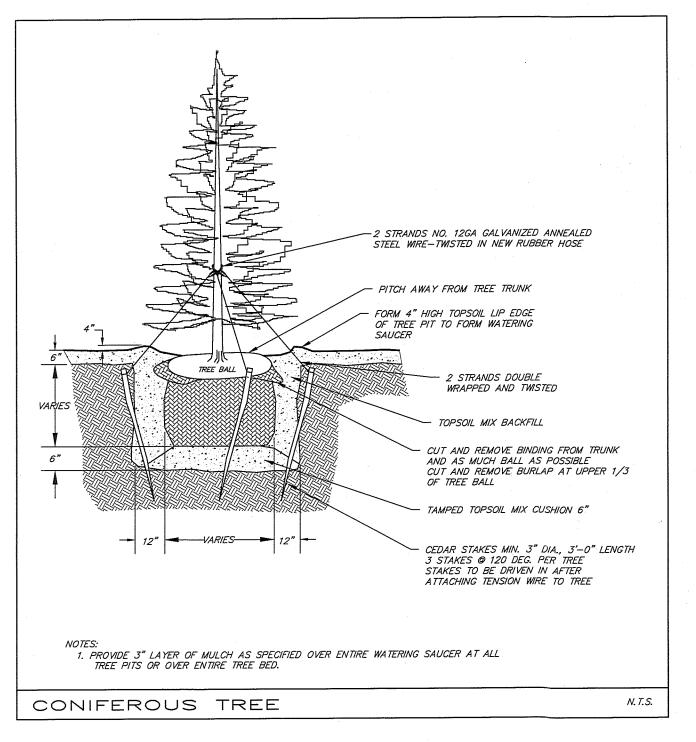
If you would like to walk the site, which I would recommend, please give me a call and I will coordinate with the owner. We look forward to this to you at the June 9, 2020 AHRB meeting.

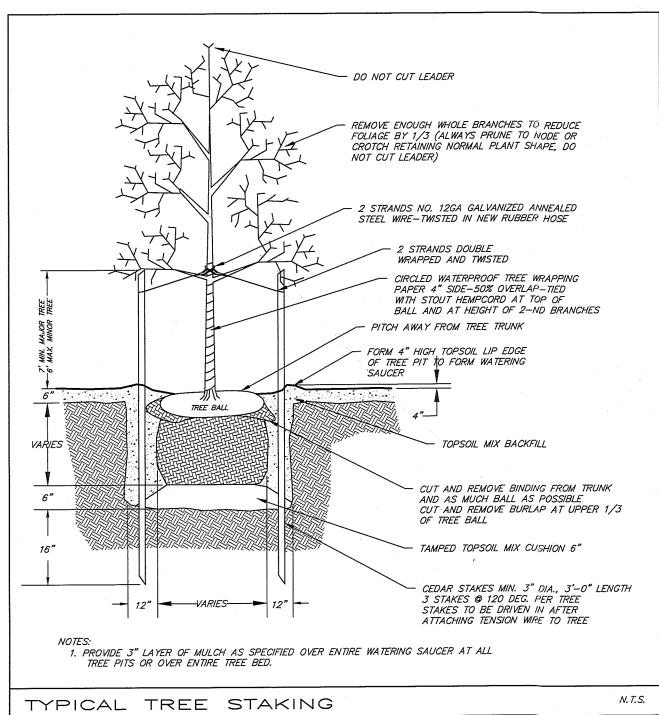
Thank you for your time and attention on this,

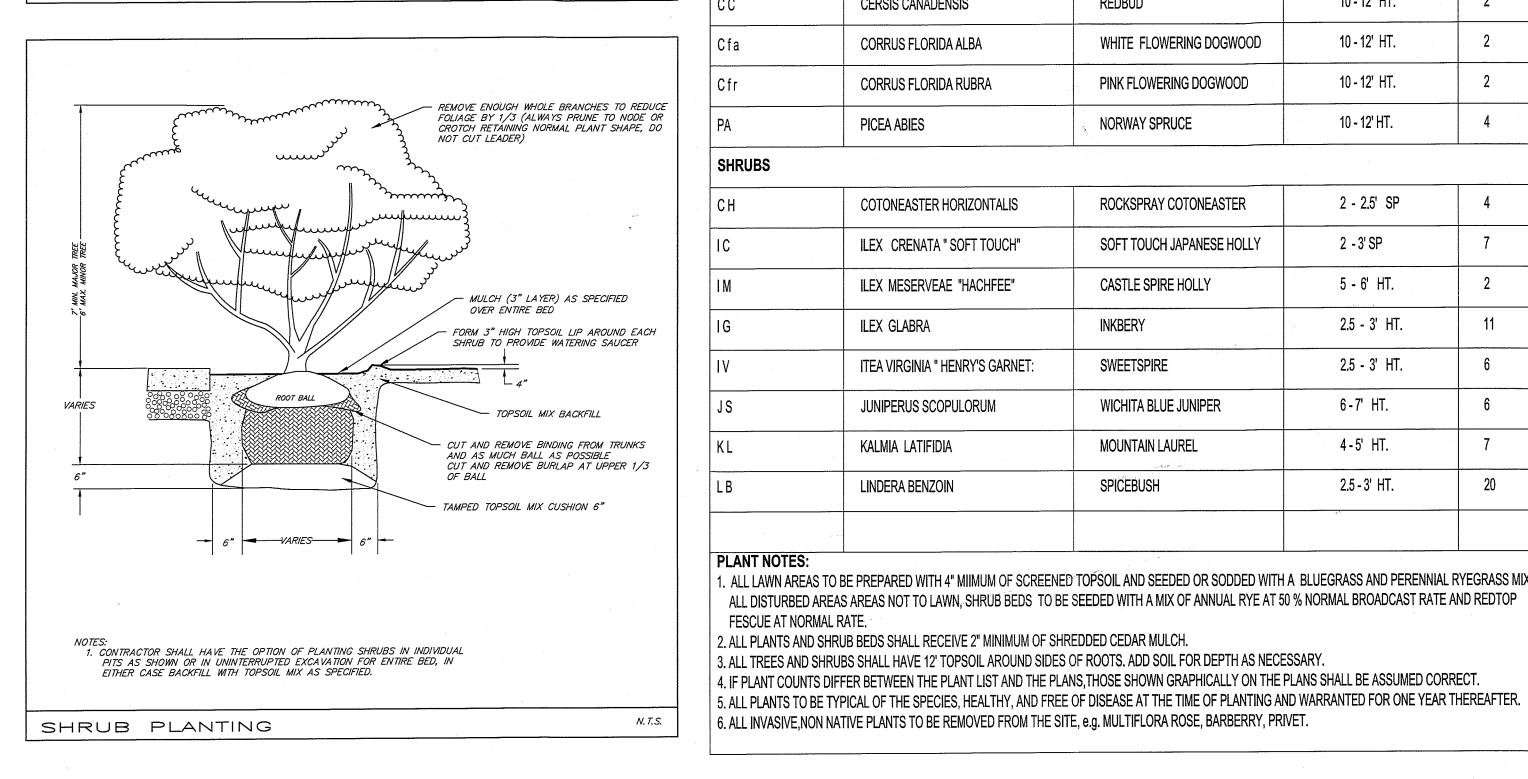
Paddy Steinschneider

As Agent for Adam and Kendall Ostrow, Owner









FENCE NOTES: 1. FENCE SHALL BE, PRE-FINISHED ALUMINUM, 5 FEET IN HEIGHT TO MATCH EXISTING. 2. GATES SHALL HAVE SELF-CLOSING HINGES AND BE LOCKABLE. 3. FENCING SHALL WEAVE THROUGH OR BE ADJACENT TO EXISTING PLANT MATERIAL. PROPOSED 5 FT HIGH-PRE-FINISHED ALUMINUM FENCE TO MATCH EXISTING

ABBREVIATION	SCIENTIFIC NAME	COMMON NAME	SIZE	QUANTITY
INOR TREES				
C	CERSIS CANADENSIS	REDBUD	10 - 12 ' HT.	2
Cfa	CORRUS FLORIDA ALBA	WHITE FLOWERING DOGWOOD	10 - 12' HT.	2
) fr	CORRUS FLORIDA RUBRA	PINK FLOWERING DOGWOOD	10 - 12' HT.	2
PA	PICEA ABIES	NORWAY SPRUCE	10 - 12' HT.	4
SHRUBS				1
СН	COTONEASTER HORIZONTALIS	ROCKSPRAY COTONEASTER	2 - 2.5' SP	4
С	ILEX CRENATA "SOFT TOUCH"	SOFT TOUCH JAPANESE HOLLY	2 - 3' SP	7
M	ILEX MESERVEAE "HACHFEE"	CASTLE SPIRE HOLLY	5 - 6' HT.	2
G	ILEX GLABRA	INKBERY	2.5 - 3' HT.	11
V .	ITEA VIRGINIA " HENRY'S GARNET:	SWEETSPIRE	2.5 - 3' HT.	6
S	JUNIPERUS SCOPULORUM	WICHITA BLUE JUNIPER	6 - 7' HT.	6
(L	KALMIA LATIFIDIA	MOUNTAIN LAUREL	4-5' HT.	7
В	LINDERA BENZOIN	SPICEBUSH	2.5 - 3' HT.	20

1. ALL LAWN AREAS TO BE PREPARED WITH 4" MIIMUM OF SCREENED TOPSOIL AND SEEDED OR SODDED WITH A BLUEGRASS AND PERENNIAL RYEGRASS MIX. ALL DISTURBED AREAS AREAS NOT TO LAWN, SHRUB BEDS TO BE SEEDED WITH A MIX OF ANNUAL RYE AT 50 % NORMAL BROADCAST RATE AND REDTOP

PROPOSED (4)

NORWAY SPRUCE TREES

OF THE RETAINING WALLS.

THE LOCATIONS OF STONE RETAINING WALLS ON THIS PLAN IS BASED ON A WORSE CASE SCENARIO FOR ROCK REMOVAL. FOLLOWING THE ACTUAL EXCAVATION AT THE SITE AND A DECISION ON ROCK REMOVAL IS CONFIRMED IS CONFRIMED AT THE SITE, A REVISED PLAN FOR THE RETAINING WALLS WILL BE PREPARED AND SUBMITTED TO THE DOBBS FERRY BUILDING DEPARTMENT. A LANDSCAPING PLAN WAS NOT REQUIRED BY EITHER THE PLANNING BOARD OR THE ARCHITECTURAL AND HISTORIC REVIEW BOARD FOR THEIR APPROVAL OF THIS PROJECT. A LANDSCAPING PLAN WILL BE PREPARED AND SUBMITTED TO THE DOBBS FERRY BUILDING DEPARTMENT FOR THEIR REVIEW FOLLOWING CONFIRMATION

PROPOSED 5 FT HIGH PRE-FINISHED ALUMINUM FENCE AND GATE TO MATCH EXISTING

_EXISTING WOOD FENCE

AND ĞĄTE TO BĘ REMOVĘD

/-PROPOSED`

PRE-FINISHED ALUMINUM-FENCE-

TO MATCH EXISTING

5 FT HIGH

POOL

IN GROUND

PATIO

PROPOSED STONE WALL TO MATCH EXISTING

± 96 SQ.FT.

PROPOSED 5 FT HIGH-

PRE-FINISHED ALUMINUM FENCE TO MATCH EXISTING 🎨

EXISTING WOOD FENCE

AND GATES TO BE REMOVED ---

LEGEND:

TREE PROTECTION



TREE TO BE REMOVED

N





PROPOSED TREE



LANDSCAPE PLAN

SCALE : 1" = 20'-0" **GRAPHIC SCALE IN FEET** 0 5 10 20

LAURA WAKE ARCHITEC 329 BROADV

No. 27038

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MAY 2 9 2020 illage of Dobbs Ferry uilding Department

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SUBMITTED FOR BUILDING PERMIT

ELIMINATED PROPOS WALLS AND FENCE N **ELIMINATED PROPOS** WALLS BEHIND GARA REPLACED PROPOSE STONE RET'G WALL STAIRS W/ CONCRET WALL, BLUESTONE T AND MASONRY STEP REMOVED EXIST WOO AND GATES AROUND REPLACED WITH 5 FT

PRE-FIN. ALUM. FENC MATCH EXISTING.

ADDED STONE WALL EXIST BETWEEN HOU ADDED FOUR (4) NO SPRUCE TREES. ADDED FENCE NOTES

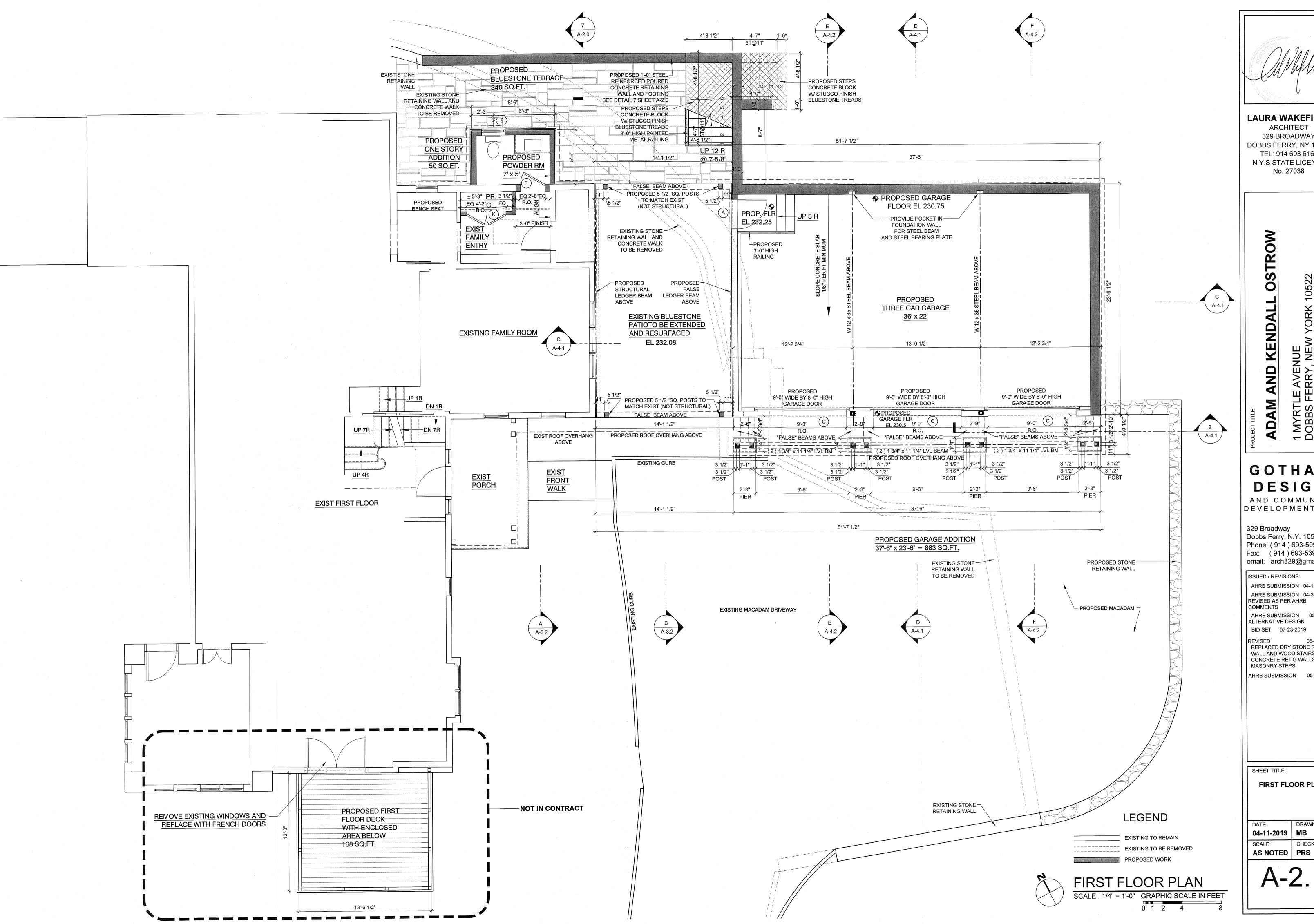
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SHEET TITLE:

LANDSCAPE DETAILS PLANT LIS

03-20-2020 ME

AS NOTED | PR





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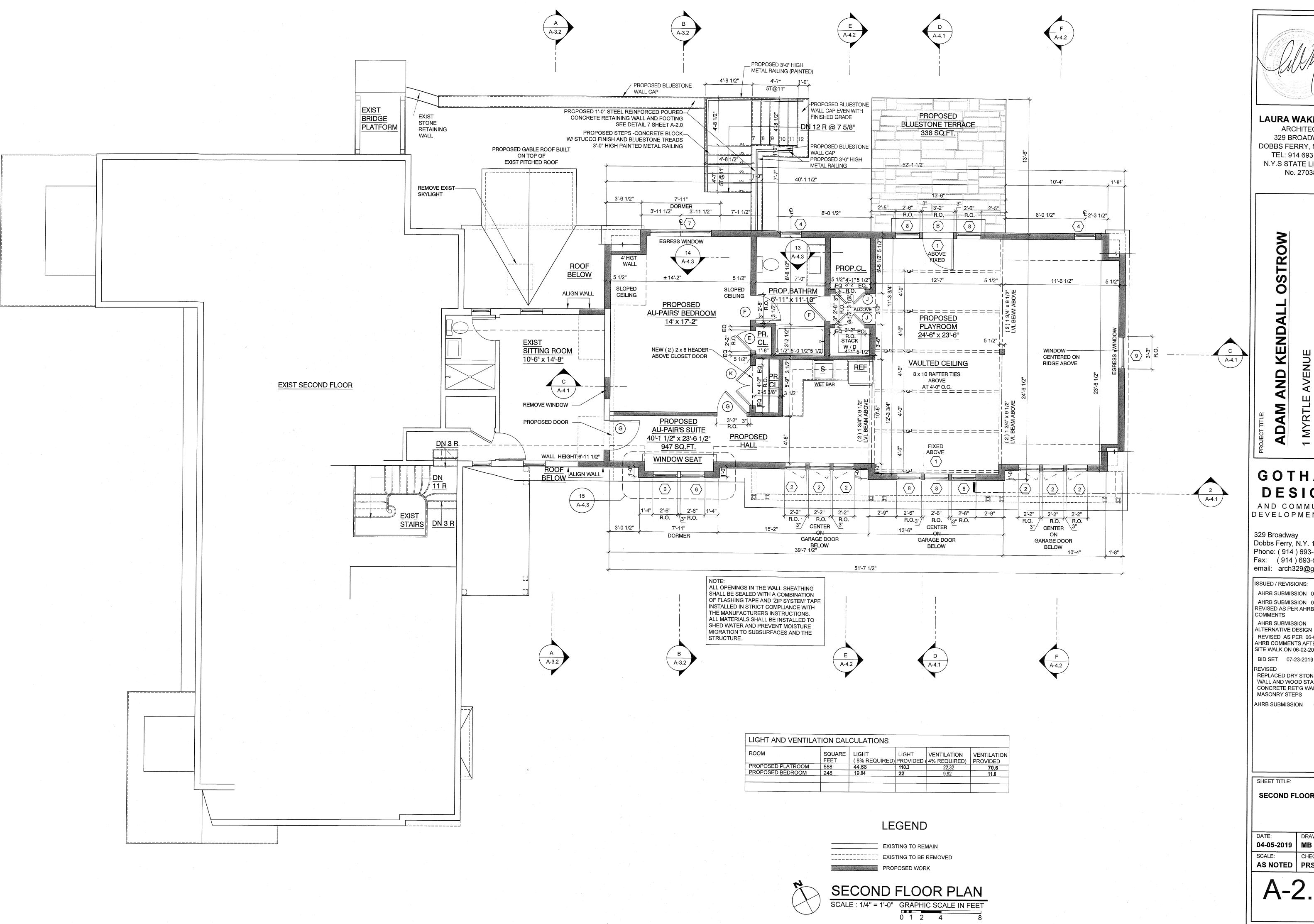
BID SET 07-23-2019 REVISED 05-21-2020 REPLACED DRY STONE RET'G WALL AND WOOD STAIRS W/ REVISED CONCRETE RET'G WALLS AND MASONRY STEPS

AHRB SUBMISSION 05-28-2020

SHEET TITLE:

FIRST FLOOR PLAN

DRAWN BY: 04-11-2019 MB CHECKED BY:



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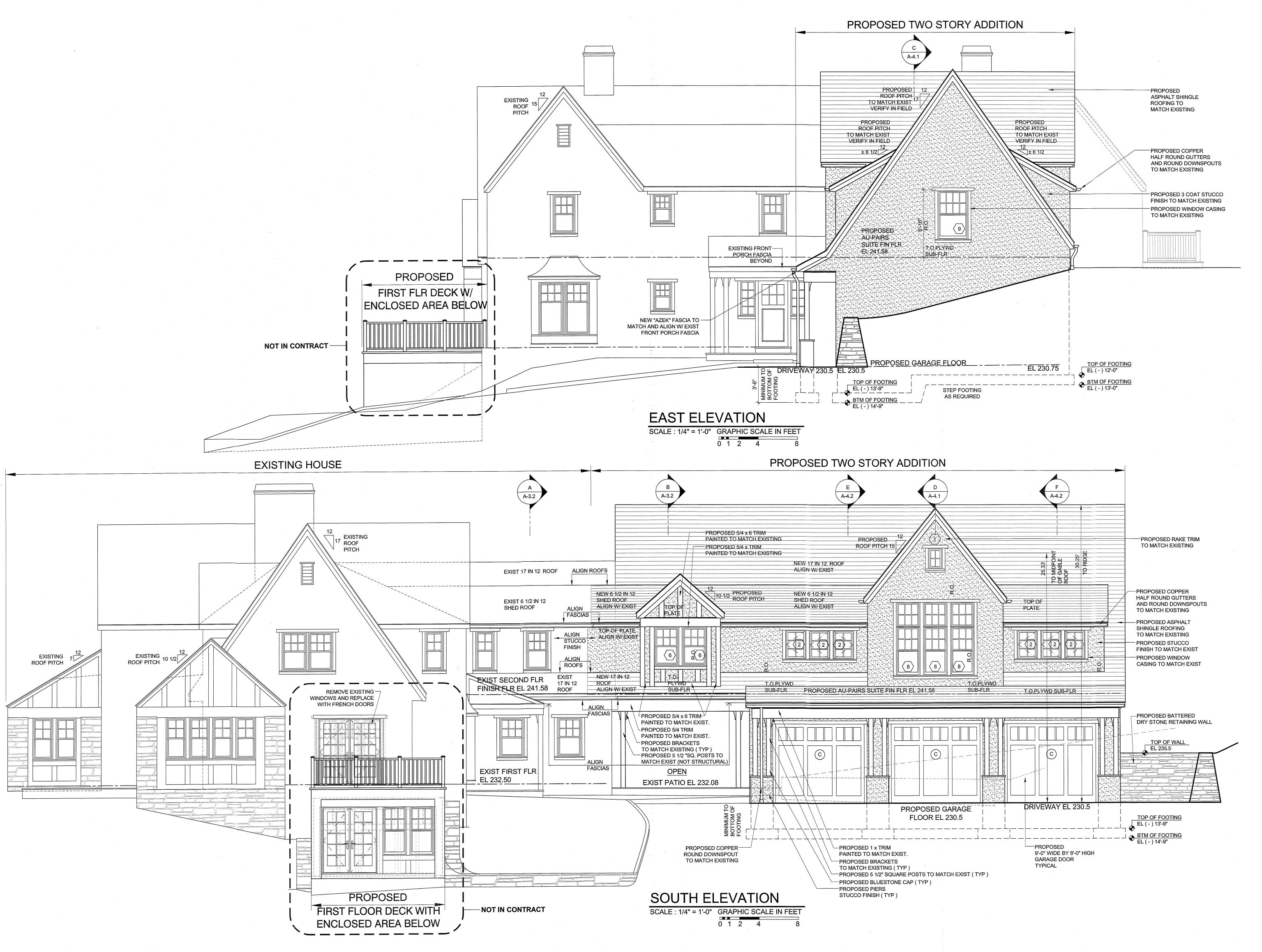
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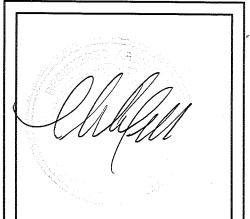
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AHRB SUBMISSION

SECOND FLOOR

04-05-2019 MB AS NOTED | PRS





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AHRB SUBMISSION 04-30-2019

REVISED AS PER AHRB

COMMENTS

AHRB SUBMISSION 05-31-2019 ALTERNATIVE DESIGN REVISED AS PER 06-04-2019 AHRB COMMENTS AFTER SITE WALK ON 06-02-2019 BID SET 07-23-2019

EAST ELEVATION
CHANGED PITCH OF ROOF OVER
STORAGE ROOM FROM 6.5 IN 12
TO 8 IN 12
ADDED WINDOW # 9
REPLACED TWO # 2 WINDOWS
WITH TWO NEW # 3 WINDOWS
AHRB SUBMISSION 05-28-2020

SHEET TITLE:

PROPOSED SOUTH AND EAST ELEVATIONS

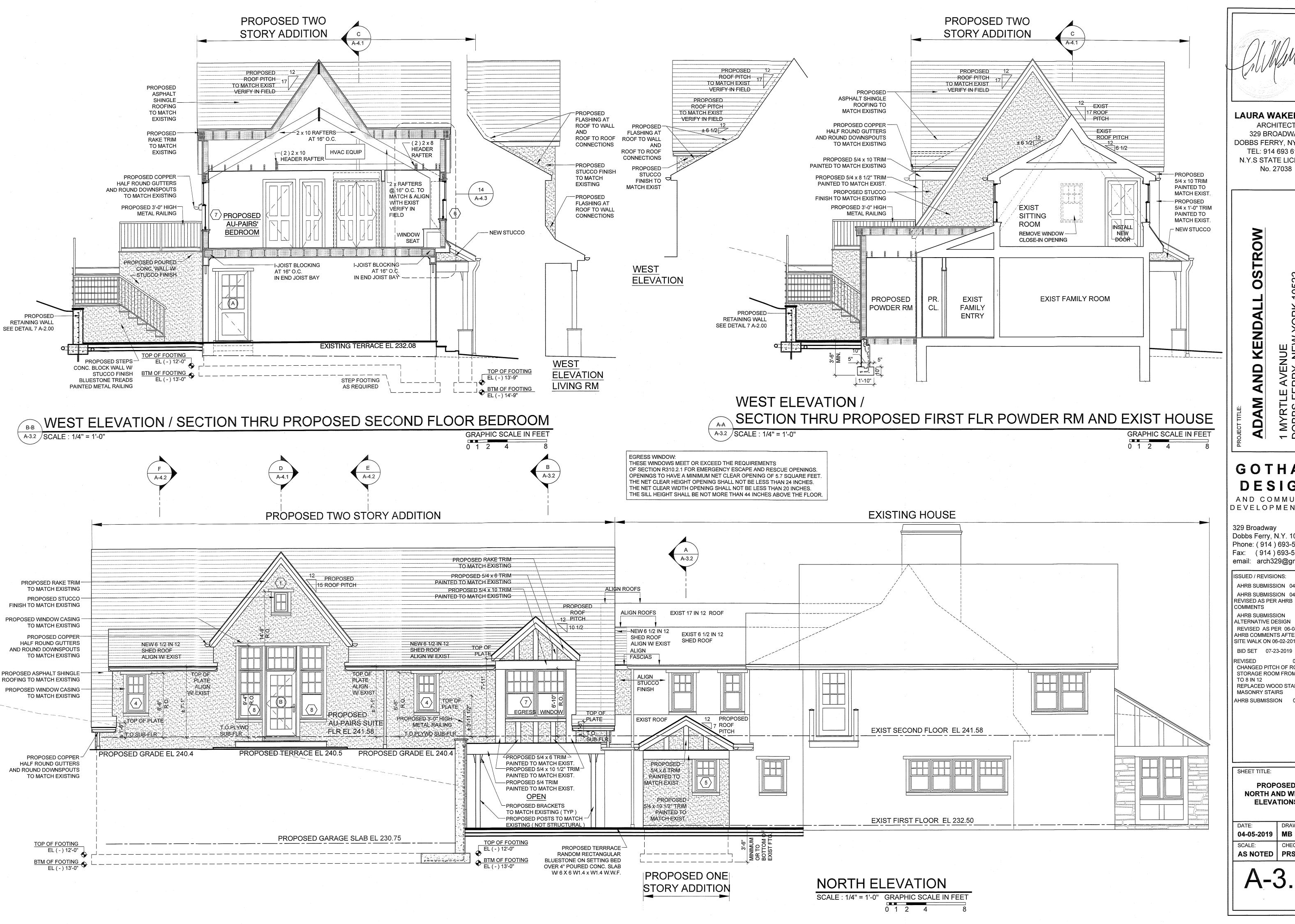
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04-05-2019 MB

SCALE: CHECKED BY:

AS NOTED PRS

A-3.1



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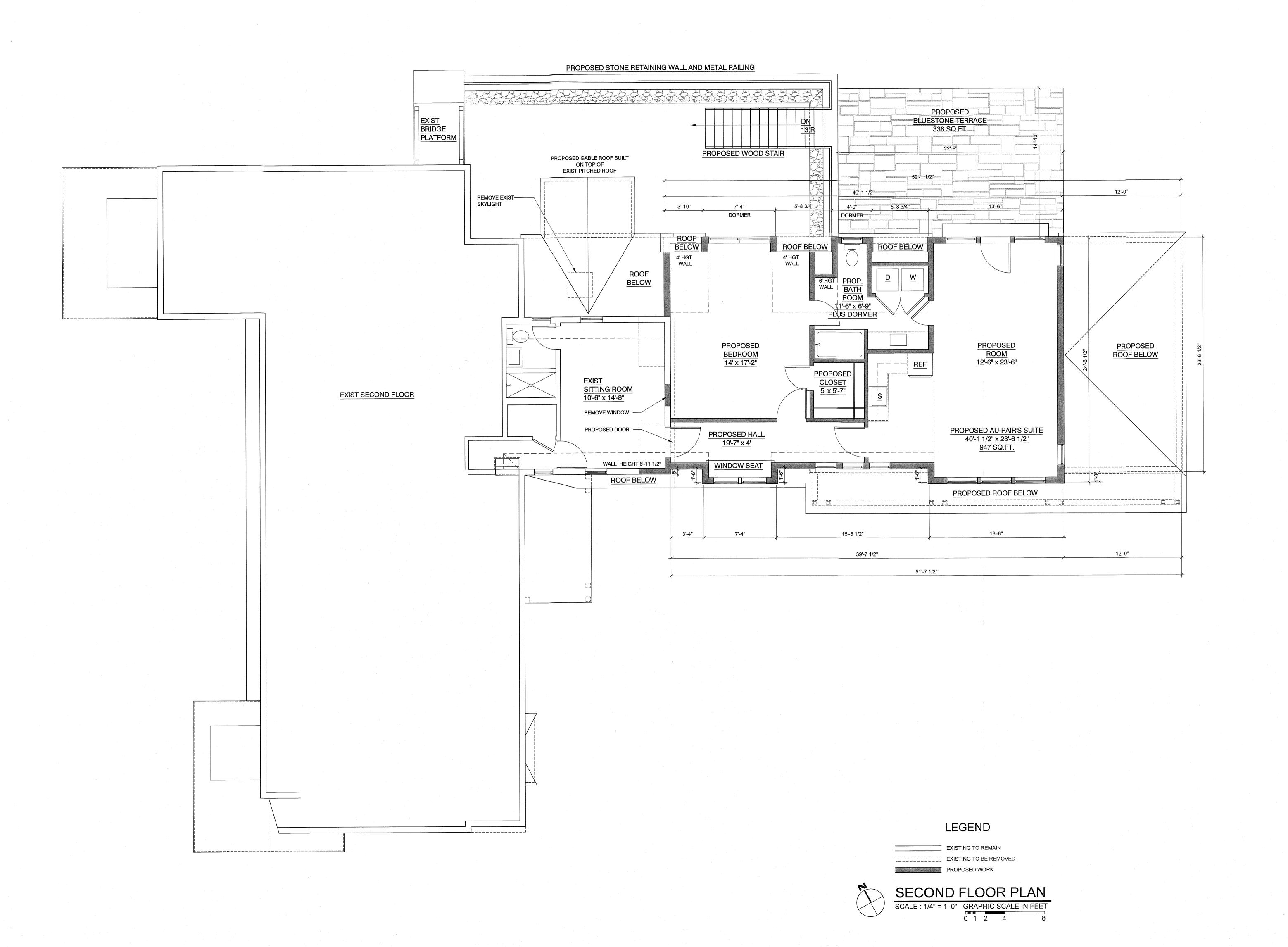
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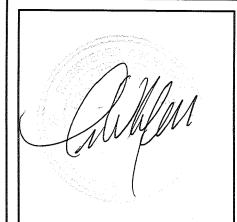
REVISED 05-21-2020 CHANGED PITCH OF ROOF OVER STORAGE ROOM FROM 6.5 IN 12 TO 8 IN 12 REPLACED WOOD STAIRS WITH MASONRY STAIRS AHRB SUBMISSION 05-28-2020

SHEET TITLE:

PROPOSED NORTH AND WEST ELEVATIONS

DRAWN BY: MB 04-05-2019 SCALE: CHECKED BY: AS NOTED | PRS





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ALTERNATIVE DESIGN

SHEET TITLE:

SECOND FLOOR PLAN

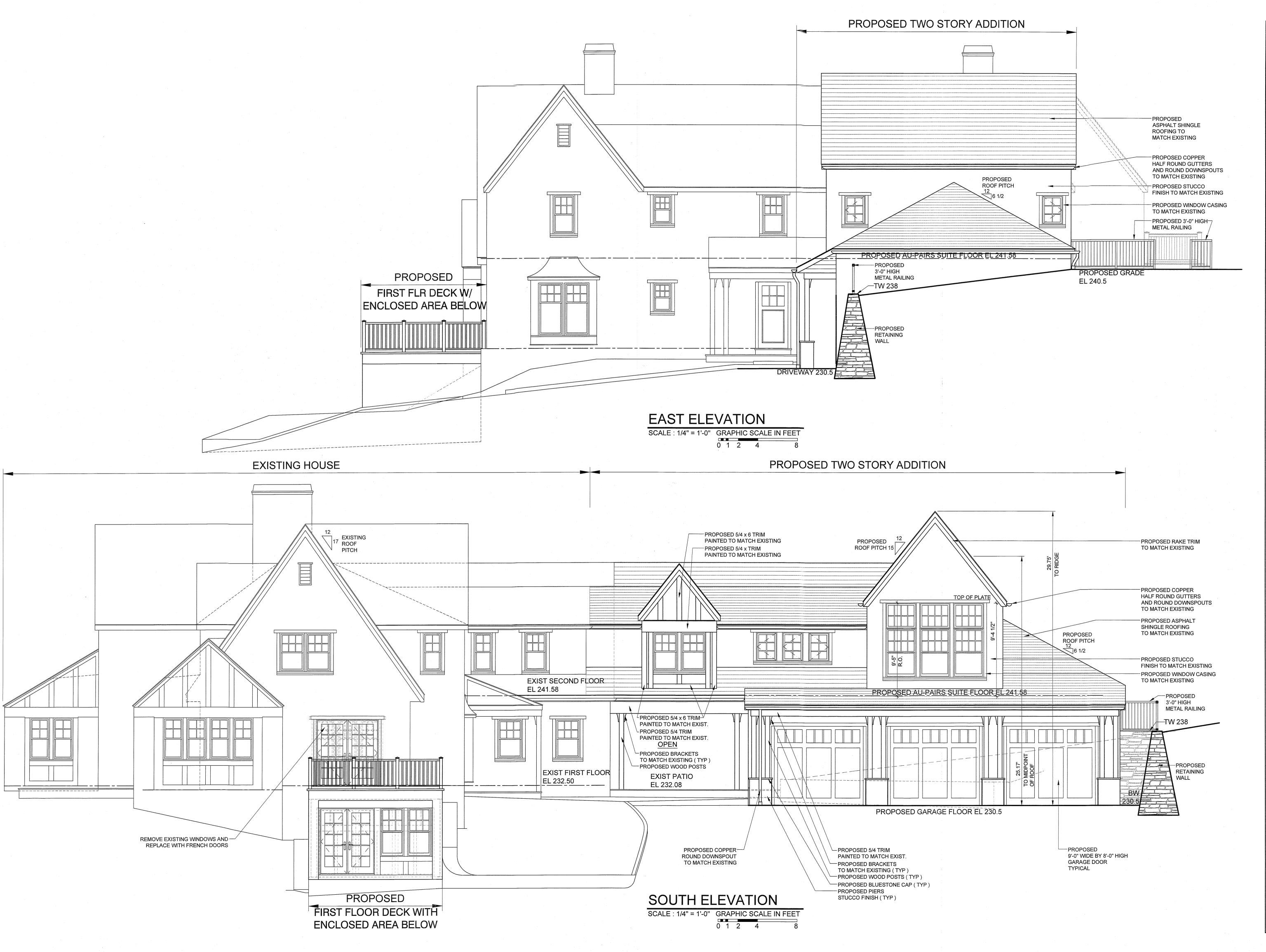
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AS NOTED PRS

A-2.2





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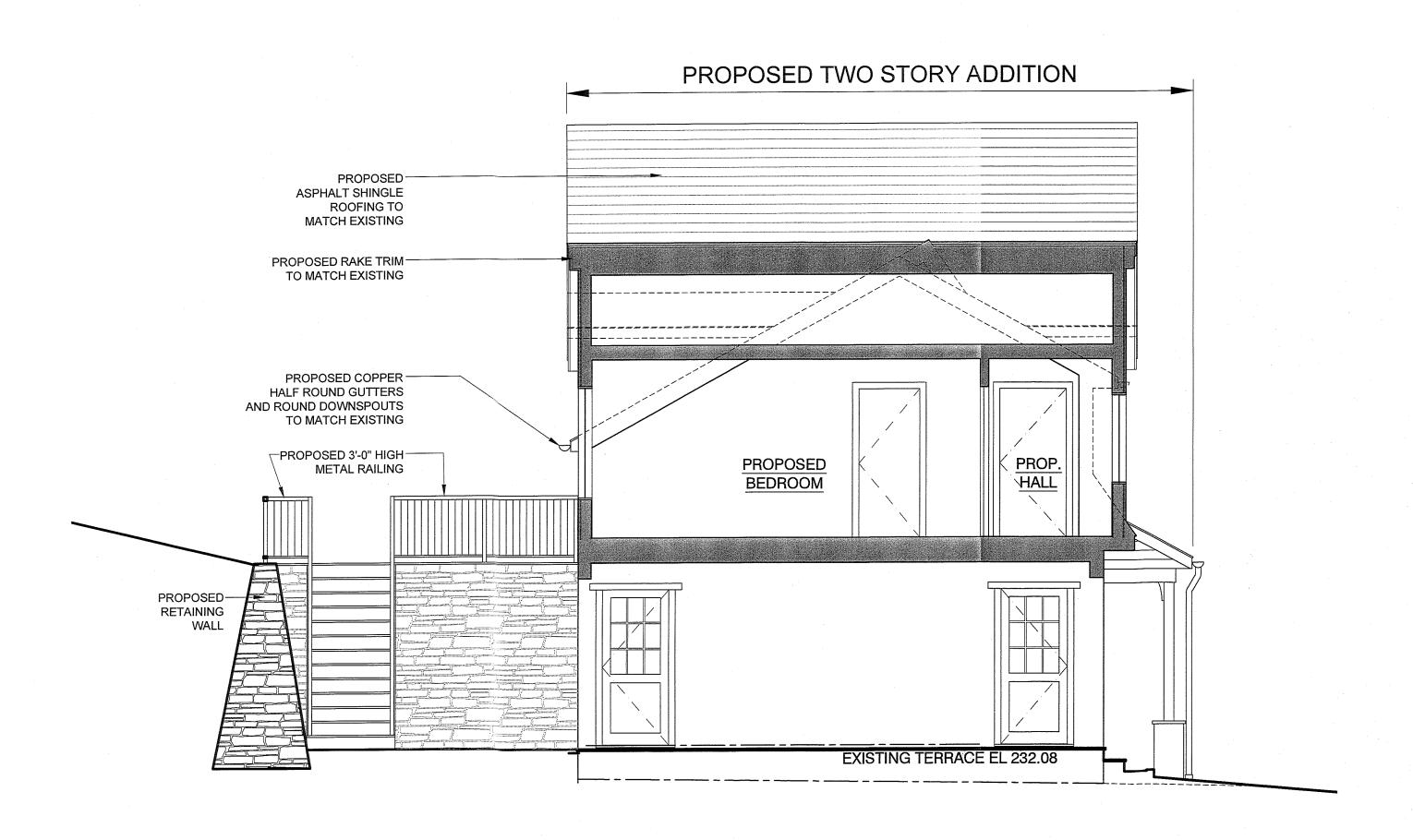
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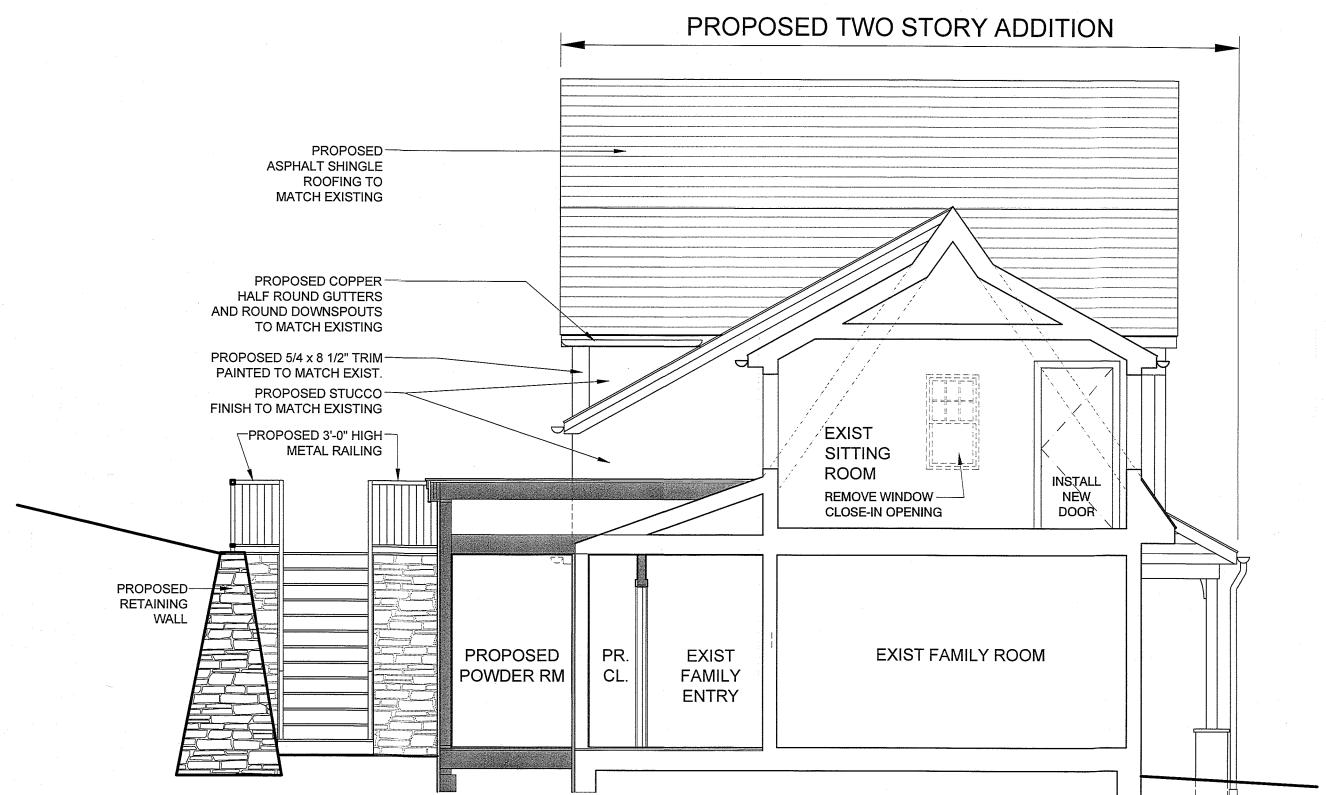
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WEST ELEVATION / SECTION THRU PROPOSED SECOND FLOOR BEDROOM

SCALE: 1/4" = 1'-0"

GRAPHIC SCALE IN FEET

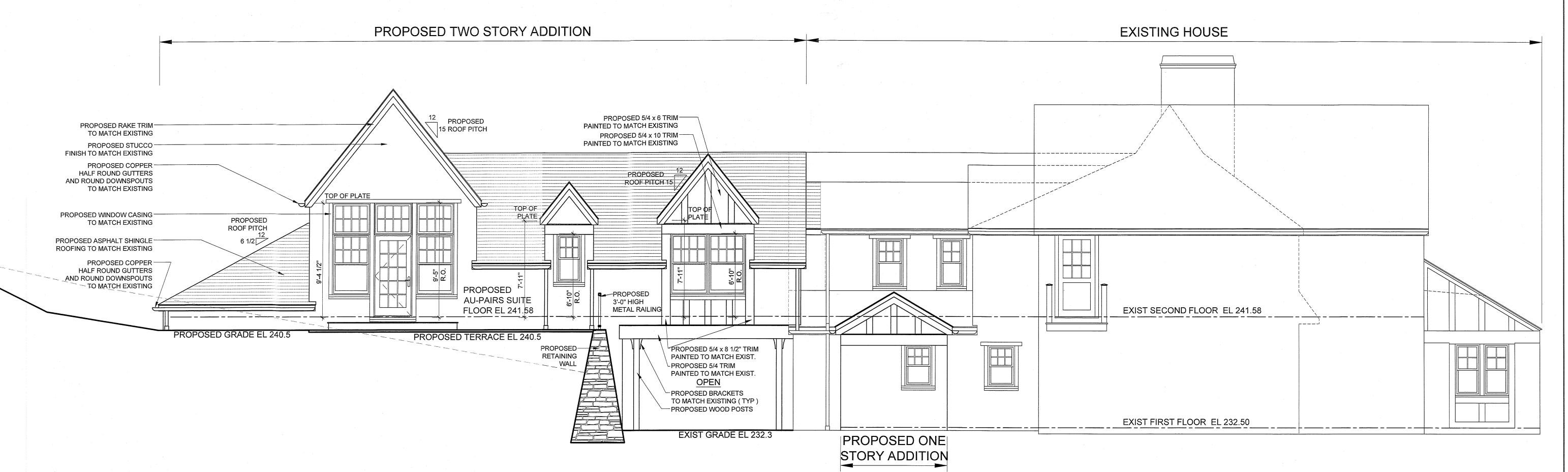
0 1 2 4 8

WEST ELEVATION / SECTION THRU PROPOSED FIRST FLR POWDER RM AND EXIST HOUSE

SCALE: 1/4" = 1'-0"

GRAPHIC SCALE IN FEET

GRAPHIC SCALE IN FEET
0 1 2 4 8



NORTH ELEVATION

SCALE: 1/4" = 1'-0" GRAPHIC SCALE IN FEET

0 1 2 4 8

Lawy)

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> OSTROW 1 MYRTI E AVENITE

GOTH DESIGNATION OF THE PROPERTY OF THE PROPER

DEVELOPME

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