

VILLAGE OF DOBBS FERRY

Building Department
112 Main Street
Dobbs Ferry, New York 10522
TEL: (914) 231-8513 • emanley@dobbsferry.com

NOTICE

NOTICE IS HEREBY GIVEN that an application has been filed by Mr. Raymond Thompson III. Pursuant to a review of the submitted proposed plans to construct a deck on property located at 37 Devoe Street, the following determinations were made.

The property is located in the MDR-1 Zone

1. The required minimum side yard set-back is 10', proposed set-back of 8'-9" thus requiring a variance of 1'-3"

A copy of the application, environmental assessment form, deed, survey, and drawings are on file in the Office of the Village Clerk and are available for inspection Monday through Friday between the hours of 9:00 AM and 4:00 PM.

NOTICE IS HEREBY FURTHER GIVEN that the Zoning Board of Appeals will hold a public hearing to consider the application on Wednesday evening, June 10, 2020 at eight o'clock p.m. The meeting will be held remotely via Zoom. The Zoom sign-in instructions for the meeting are posted on the agenda located on the Village calendar on the Village website at: www.dobbsferry.com. You may access the agenda by going to the meeting date on the calendar & clicking on the link for the Zoning Board of Appeals.

BY ORDER OF THE ZONING BOARD OF APPEALS

Dated: May 21, 2020

Elizabeth Dreaper
Village Clerk

APPLICATION TO ZONING BOARD OF APPEALS
VILLAGE OF DOBBS FERRY

RECEIVED

MAY 21 2020

Note: Eight copies of the application must be filed with the Clerk of the Board, no later than 2:00 p.m., twenty-one (21) days prior to the date of the meeting.

Date Filed: 5/18/2020

Applicant's Name: Matthew Cordone Telephone: (917) 749-8071

Property Location: 37 Devoe St. Dobbs Ferry, NY

Sheet: 3.90, Block: 51, Lots/Parcel: 20 & 04

The undersigned applicant requests a hearing before the Zoning Board of Appeals based on the following:
(check one)

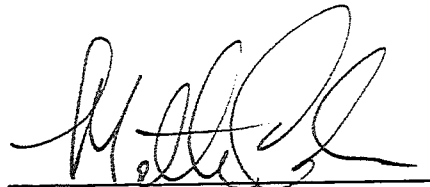
☒ Appeals decision of Building Inspector

☐ Special Permit

Every application or appeal must be accompanied by an accurate plot plan to scale showing location of all existing structures, and also drawings showing the exact location, dimensions, and the nature of all proposed structures. These requirements will ordinarily be best met with surveys and architect's drawings. The Board may require that surveys and/or drawings be prepared and signed by duly accredited surveyors, engineers, or architects. Applicant is required to show proof of title to or legal interest in the premises, by deed or contract of sale, or other document. This application or appeal is made pursuant to the authorization contained in the Building Zoning Ordinance:

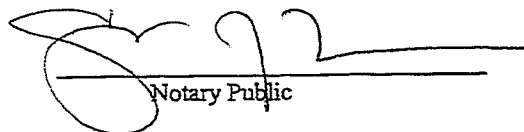
Article: X Section: 300 Subdivisions: 35.D.4

The basis of the relief sought by the undersigned pursuant to the provisions of the Building Zoning Ordinance is as follows: (Set forth briefly all pertinent facts and use additional sheets if necessary).

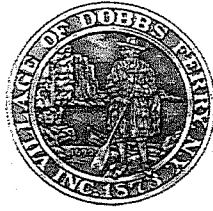

Applicant

STATE OF NEW YORK)
COUNTY OF WESTCHESTER) ss:

On this 18th day of May, 20 20 before me personally came Matthew Cordone
who came duly sworn deposes and says that he/she read the foregoing application and knows the content
thereof and that the same is true to his/her own knowledge.


Notary Public

SUSAN J. MOESKER
Notary Public - State of New York
No. 01MO6341836
Qualified in Kings County
My Commission Expires May 16, 2024



VILLAGE OF DOBBS FERRY
Building Department
112 Main Street
Dobbs Ferry, New York 10522
TEL: (914) 231-8511 • emanley@dobbsferry.com

01/14/2020

Raymond Thompson 111
37 Devoe St
Dobbs Ferry, NY 10522

Re: 37 Devoe St

S/B/L 3.90-51-20

Dear Mr. Thompson,

Pursuant to a review of the submitted proposed plans to construct a deck on your property, the following determinations were made.

The property is located in the MDR-1 Zone.

The required minimum side yard set-back is 10'.

You have proposed a set-back of 8'-9".

Thus requiring a variance of 1'-3"

For these reasons your proposal, as submitted, is denied pending zoning board review.

If you have any questions, please contact the Building Department at (914) 231-8513.

Respectfully,

Ed Manley
Land Use Officer

PROJECT I.D. NUMBER

617.21
Appendix C
State Environmental Quality Review
SHORT ENVIRONMENTAL ASSESSMENT FORM
For UNLISTED ACTIONS Only

PART I-PROJECT INFORMATION (To be completed by Applicant or Project sponsor)

1. APPLICANT/SPONSOR <i>Matthew Cordone</i>	2. PROJECT NAME <i>Thompson Residence</i>
3. PROJECT LOCATION: Municipality <i>Dobbs Ferry</i> County <i>Westchester</i>	
4. PRECISE LOCATION (Street address and road intersections, prominent landmarks, etc. or provide map) <i>37 Devoe St, Dobbs Ferry, NY</i> <i>lot continues to Maple St.</i>	
5. IS PROPOSED ACTION: <input type="checkbox"/> New <input checked="" type="checkbox"/> Expansion <input type="checkbox"/> Modification/Alteration	
6. DESCRIBE PROJECT BRIEFLY: <i>Addition of a new deck on the rear of the house.</i>	
7. AMOUNT OF LAND AFFECTED: Initially <i>0.176</i> acres Ultimately <i>0.176</i> acres	
8. WILL PROPOSED ACTION COMPLY WITH EXISTING ZONING OR OTHER EXISTING LAND USE RESTRICTIONS? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If No, describe briefly. <i>Seeking a zoning area variance for slight infringement on side yard setback requirements.</i>	
9. WHAT IS PRESENT LAND USE IN VICINITY OF PROJECT? <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Agriculture <input type="checkbox"/> Park/Forest/Open Space <input type="checkbox"/> Other Describe:	
10. DOES ACTION INVOLVE A PERMIT APPROVAL, OR FUNDING, NOW OR ULTIMATELY FROM ANY OTHER GOVERNMENTAL AGENCY (FEDERAL, STATE OR LOCAL)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list agency(s) and permit/approvals	
11. DOES ANY ASPECT OF THE ACTION HAVE A CURRENTLY VALID PERMIT OR APPROVAL? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, list agency name and permit/approval	
12. AS A RESULT OF PROPOSED ACTION WILL EXISTING PERMIT/APPROVAL REQUIRE MODIFICATION? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE TO THE BEST OF MY KNOWLEDGE	
Applicant/Sponsor Name: _____ Date: _____	
Signature: _____	

If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with this assessment.

OVER

PART II—ENVIRONMENTAL ASSESSMENT (To be completed by Agency)

A. DOES ACTION EXCEED ANY TYPE I THRESHOLD IN 6 NYCRR, PART 617.4? If yes, coordinate the review process and use the FULL EAF. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
B. WILL ACTION RECEIVE COORDINATED REVIEW AS PROVIDED FOR UNLISTED ACTIONS IN 6 NYCRR, PART 617.6? If No, a negative declaration may be superseded by another involved agency. <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
C. COULD ACTION RESULT IN ANY ADVERSE EFFECTS ASSOCIATED WITH THE FOLLOWING: (Answers may be handwritten, if legible)	
C1. Existing air quality, surface or groundwater quality or quantity, noise levels, existing traffic patterns, solid waste production or disposal, potential for erosion, drainage or flooding problems? Explain briefly: No	
C2. Aesthetic, agricultural, archaeological, historic or other natural or cultural resources; or community or neighborhood character? Explain briefly. No	
C3. Vegetation or fauna, fish, shellfish or wildlife species, significant habitats, or threatened or endangered species? Explain briefly. No	
C4. A community's existing plans or goals as officially adopted, or a change in use or intensity of use of land or other natural resources? Explain briefly. No	
C5. Growth, subsequent development, or related activities likely to be induced by the proposed action? Explain briefly. No	
C6. Long term, short term, cumulative, or other affects not identified in C1-C5? Explain briefly. No	
C7. Other impacts (including changes in use of either quantity or type of energy)? Explain briefly. N/A	
D. WILL THE PROJECT HAVE AN IMPACT ON THE ENVIRONMENTAL CHARACTERISTICS THAT CAUSED THE ESTABLISHMENT OF A CEA? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
E. IS THERE, OR IS THERE LIKELY TO BE, CONTROVERSY RELATED TO POTENTIAL ADVERSE ENVIRONMENTAL IMPACTS? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, explain briefly.	

PART III—DETERMINATION OF SIGNIFICANCE (To be completed by Agency)

INSTRUCTIONS: For each adverse effect identified above, determine whether it is substantial, large, important or otherwise significant. Each effect should be assessed in connection with its (a) setting (i.e. urban or rural); (b) probability of occurring; (c) duration; (d) irreversibility; (e) geographic scope; and (f) magnitude. If necessary, add attachments or reference supporting materials. Ensure that explanations contain sufficient detail to show that all relevant adverse impacts have been identified and adequately addressed. If question D or Part II was checked yes, the determination and significance must evaluate the potential impact of the proposed action on the environmental characteristics of the CEA.

- ☐ Check this box if you have identified one or more potentially large or significant adverse impacts which MAY occur. Then proceed directly to the FULL EAF and/or prepare a positive declaration.
- ☒ Check this box if you have determined, based on the information and analysis above and any supporting documentation, that the proposed action WILL NOT result in any significant adverse environmental impacts AND provide on attachments as necessary, the reasons supporting this determination:

Name of Lead Agency

Print or Type Name of Responsible Officer in Lead Agency

Title of Responsible Officer

Signature of Responsible Officer in Lead Agency

Signature of Preparer (If different from responsible officer)

Date

(Note: In the event of joint tenancy, the singular will be construed as necessary)
The following documents must be submitted or the application will not be accepted:

1. Copy of deed or contract of sale
2. Application completely filled out
3. Environmental Assessment form
4. Survey of property
5. Plans showing profiles of proposed alteration/addition
6. Copy of denial from Building Inspector or Architectural Board of Review

** owner to provide ASAP ~~once~~
✓ They return from vacation
next week*

*✓
✓ } already submitted
✓*

Note: Certification of noticing to area property owners must be submitted to the Village Clerk's Office no later than 2:00 p.m. on the Friday preceding the meeting.

THOMPSON RESIDENCE

37 DEVOE STREET

DOBBS FERRY, NEW YORK 10522

GENERAL NOTES

- SCOPE OF WORK: ADDITION OF A NEW B.LEVEL DECK IN THE REAR YARD OF THE HOUSE, WITH OPEN AIR STORAGE BELOW THE UPPER LEVEL. SCOPE OF WORK ALSO INCLUDES NEW FRENCH DOORS OPENING FROM THE DINING ROOM ONTO THE UPPER LEVEL OF THE DECK AND A NEW COOKING GAS LINE FROM THE KITCHEN TO A GAS GRILL ON THE DECK.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK STATE RESIDENTIAL BUILDING CODE, AND LOCAL MUNICIPAL BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING MUNICIPAL AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES, BUILDING MANAGEMENT, OR BOARD OF DIRECTORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING, ELECTRICAL, ETC.
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE ARCHITECT HAS NOT BEEN RETAINED TO PROVIDE SUPERVISION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SIDEWALK SHED FOR PROTECTION OF THE PUBLIC.
- ALL PAINTS, COATINGS AND PRIMERS APPLIED OT HE INTERIOR SURFACES SHALL NOT EXCEED THE FOLLOWING VOC CONTENT LIMITS (AS ESTABLISHED BY GREEN SEAL STANDARD GC-1.1, PAINTS, EDITION 3.1, JULY 2013, AS AMENDED):
FLAT PAINT 50G/L FLAT
NON-FLAT PAINT 150G/L NON-FLAT.
- CLEAR WOOD FINISHES, FLOOR COATINGS, STAINS, SEALERS, AND SHELLACS, APPLIED TO INTERIOR SURFACES, SHALL NOT EXCEED THE FOLLOWING VOC CONTENT LIMITS (AS ESTABLISHED BY SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1113, ARCHITECTURAL COATINGS , JUNE 3, 2011, AS AMENDED):

VARNISH: 275 G/L
LAQUER: 275 G/L
SHELLAC: 730 G/L CLEAR, 550 G/L PIGMENTED
SEALERS: 100 G/L WATERPROOFINGS, 275 G/L SANDING,
100G/L ALL OTHERS.
- NO MATERIALS SHALL CONTAIN ADDED UREA FORMALDEHYDE.
- EXISTING FOUNDATIONS ARE TO BE SIGNED OFF BY ARCHITECT OR ENGINEER PRIOR TO ANY RECONSTRUCTION.

SYMBOLS AND MATERIALS LEGEND

	EXISTING WALLS TO REMAIN		WINDOW KEY
	CONCRETE		DOOR KEY
	EARTH		ROOM KEY
	WOOD BLOCKING CONTINUOUS		DRAWING NAME
	WOOD BLOCKING INTERMEDIATE (SHIMS)		DETAIL KEY
	BRICK		
	STEEL		
	FINISH WOOD		

ZONING

ADDRESS	SBL	ZONE	USE
37 DEVOE STREET	3,90-51-20 3,90-51-04	MDR-1	1 FAMILY DWELLING

TABLE 1: FLOOR AREA

STORY	EXISTING AREA	EXISTING HABITABLE AREA	AREA OF RENOVATION	NEW AREA
1ST	593 SF.	593 SF.	0 SF.	593 SF. (NO CHANGE)

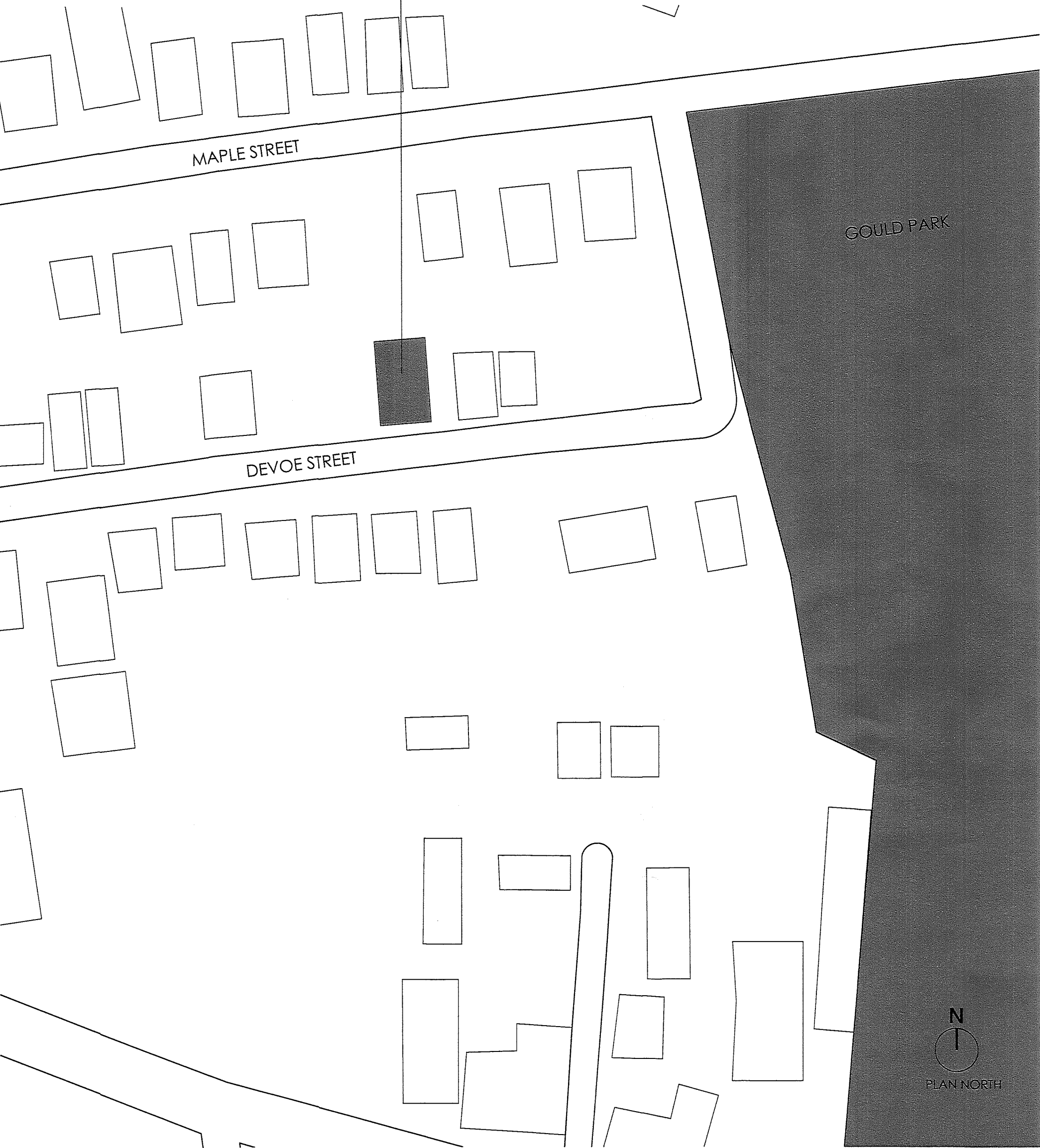
TABLE 2: BUILDING DIMENSIONS

	EXISTING	PROPOSED	ALLOWABLE	COMMENTS
GROSS LOT AREA (SF)	7,681 SF.	7,681 SF.	N/A	
MINIMUM NET LOT AREA (SF)	6,629 SF.	6,629 SF.	5,000 SF.	
MINIMUM LOT WIDTH (FT)	50.12'	50.12'	50'-0"	
MINIMUM LOT DEPTH (FT)	152.96'	152.96'	100'-0"	
COVERAGE BY BUILDING (SF)	934 SF.	934 SF.	N/A	
MAXIMUM COVERAGE BY BUILDING (%)	14%	14%	27%	
COVERAGE BY IMPERVIOUS SURFACES (SF)	2125 SF.	2350 SF.	N/A	
MAX. COVERAGE BY IMPERVIOUS SURFACES (%)	32%	35%	54%	STORMWATER RETENTION TANK REQUIRED, SEE PLANS
MINIMUM FRONT YARD SET BACK (FT)	17.1'	17.1'	20'-0"	
MINIMUM REAR YARD SET BACK (FT)	102.0'	76.0'	25'-0"	
MINIMUM SIDE YARD SET BACK (FT)	WEST	6.2' (HOUSE)	8.75' (DECK)	VARIANCE REQUIRED FOR WEST SIDE YARD, PER ZONING CODE SECTIONS 300-6 AND 300-35.D.4.
	EAST	18.2'	18.2'	
MINIMUM SIDE YARD SET BACK, BOTH (FT)	24.4'	24.4'	20'-0"	

TABLE 3: HEIGHT

	EXISTING	PROPOSED	ALLOWABLE
NUMBER OF STORIES	2½	2½ (NO CHANGE)	3
GRADE TO RIDGE (OF+MDR-1)	26'-0" +/-	26'-0" +/- (NO CHANGE)	35'-0"
GRADE TO EAVE (OF+MDR-1)	20'-0" +/-	20'-0" +/- (NO CHANGE)	28'-0"
GRADE TO MIDPOINT OF ROOF (ALL OTHER)	N/A	N/A	N/A

PLOT PLAN



DESIGN LOADS ARE AS FOLLOWS PER SQUARE FOOT:

LOCATION	LIVE	DEAD	DEFLECTION LIMIT
ROOMS OTHER THAN SLEEPING	40lb.	10lb.	L/360
SLEEPING	30lb.	10lb.	L/360
ATTIC (NON STORAGE)	10lb.	5lb.	L/240
ATTIC (STORAGE)	20lb.	10lb.	L/240
ROOF (WITH FIN. CLG.)	30lb.(SNOW)	15lb.	L/240
ROOF (NO FIN. CLG.)	30lb.(SNOW)	7lb.	L/240

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD (PSF)	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE		WEATHERING	FROST LINE DEPTH	TERMITE					
30	115	NO	NO	NO	B	SEVERE	42"	MODERATE TO HEAVY	15° F	YES	NO	576	53.0° F

ENERGY CODE COMPLIANCE

WESTCHESTER: CLIMATE ZONE 4A		
COMPONENT:	REQUIREMENT:	PROPOSED DESIGN:
FENESTRATION U FACTOR:	0.35	0.35
SKYLIGHT U FACTOR:	0.55	N/A
GLAZED FENESTRATION SHGC:	0.40	0.40
CEILING R-VALUE:	49	N/A
WOOD FRAME WALL R-VALUE:	20 or 13+5	N/A
MASS WALL R-VALUE:	8/13	N/A
FLOOR R-VALUE:	19	N/A
BASEMENT WALL R-VALUE:	10/13	N/A
SLAB R-VALUE AND DEPTH:	10, 2 ft	N/A
CRAWL SPACE WALL R-VALUE:	10/13	N/A

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T-100.00	TITLE SHEET
SP-100.00	SITE PLAN AND SURVEY
D-100.00	DEMOLITION PLANS AND NOTES
A-100.00	DECK FOUNDATION PLAN AND NOTES
A-101.00	LOWER DECK AND UPPER DECK CONSTRUCTION PLANS AND NOTES
A-200.00	DECK ELEVATIONS AND SECTIONS
A-400.00	DETAILS AND SCHEDULES

MATTHEW CORDONE
ARCHITECT PLLC

14 Spring Street
Hastings On Hudson
New York 10706
phone:917.749.8071
mcordone@mcapllic.net

OWNER:

THOMPSON FAMILY
37 DEVOE STREET
DOBBS FERRY, N.Y. 10522

CONSULTANTS

KEY PLAN

RECEIVED

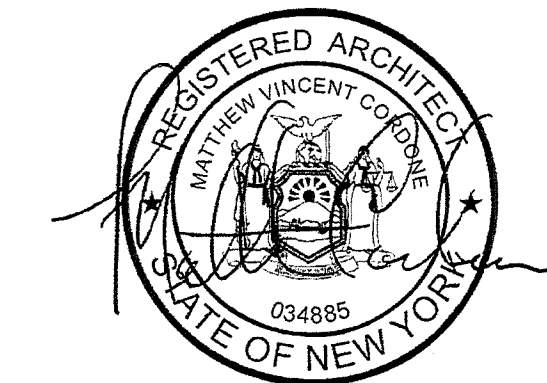
MAY - 6 2020

Village of Dobbs Ferry
Building Department

REVISIONS

12.3.2019	FILED SET
3.20.2020	REVISED FILING SET
3.24.2020	ZONING BOARD SET

SEAL & SIGNATURE



PROJECT:

EXISTING BUILDING ALTERATION
37 DEVOE STREET
DOBBS FERRY, NY, 10522

DRAWING TITLE:

TITLE SHEET

DATE: 08/20/2019 DWG NO:

DRAWN BY: LCG

CHECKED BY: MVC

PROJECT NO: 19038

1 OF 10

T-100.00

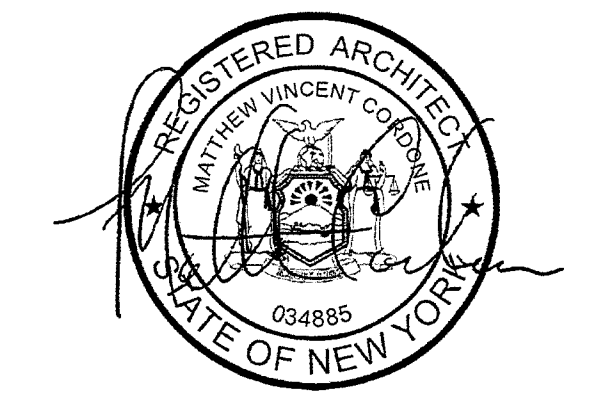
OWNER:
THOMPSON FAMILY
37 DEVOE STREET
DOBBS FERRY, N.Y. 10522

CONSULTANTS

KEY PLAN

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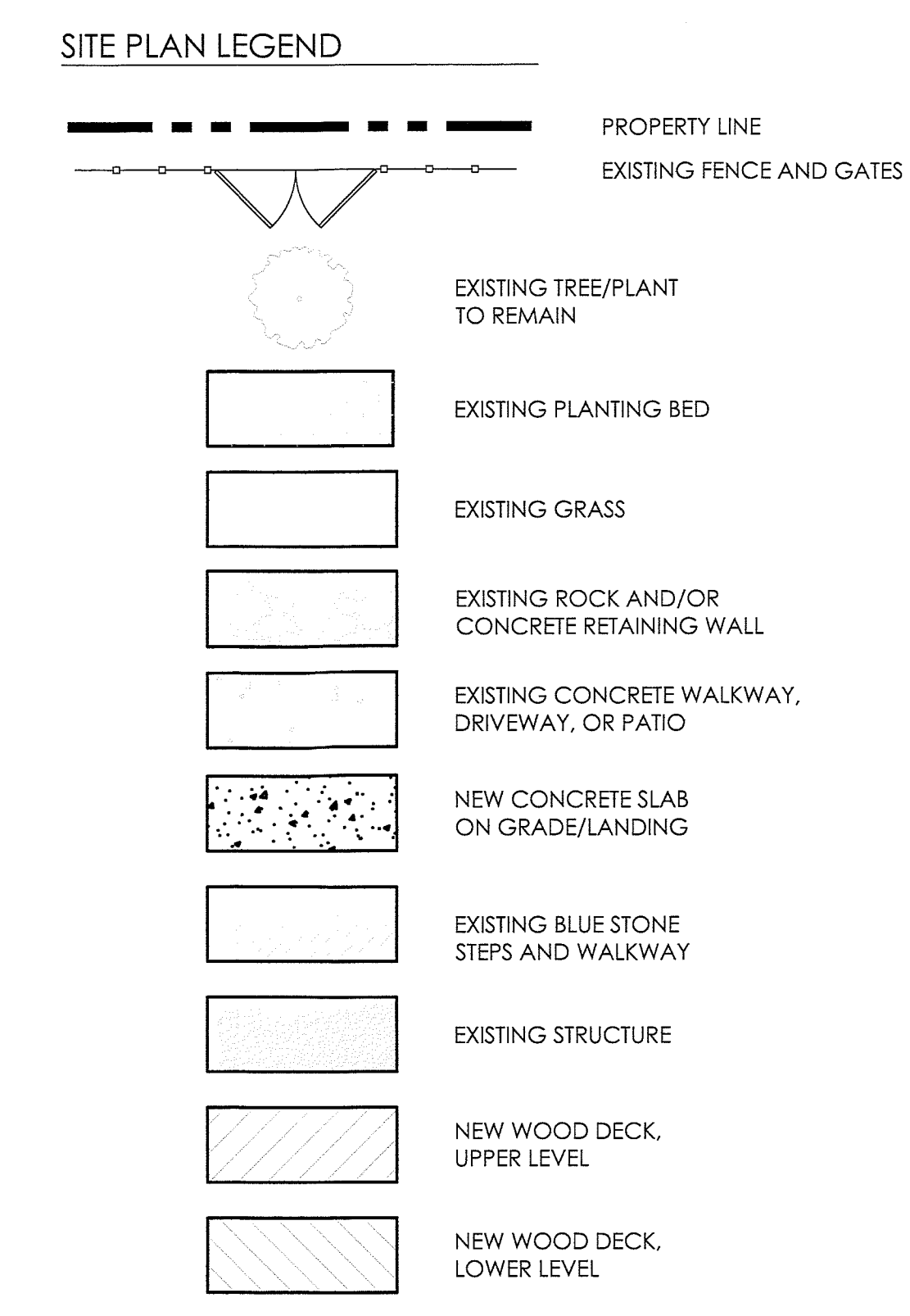
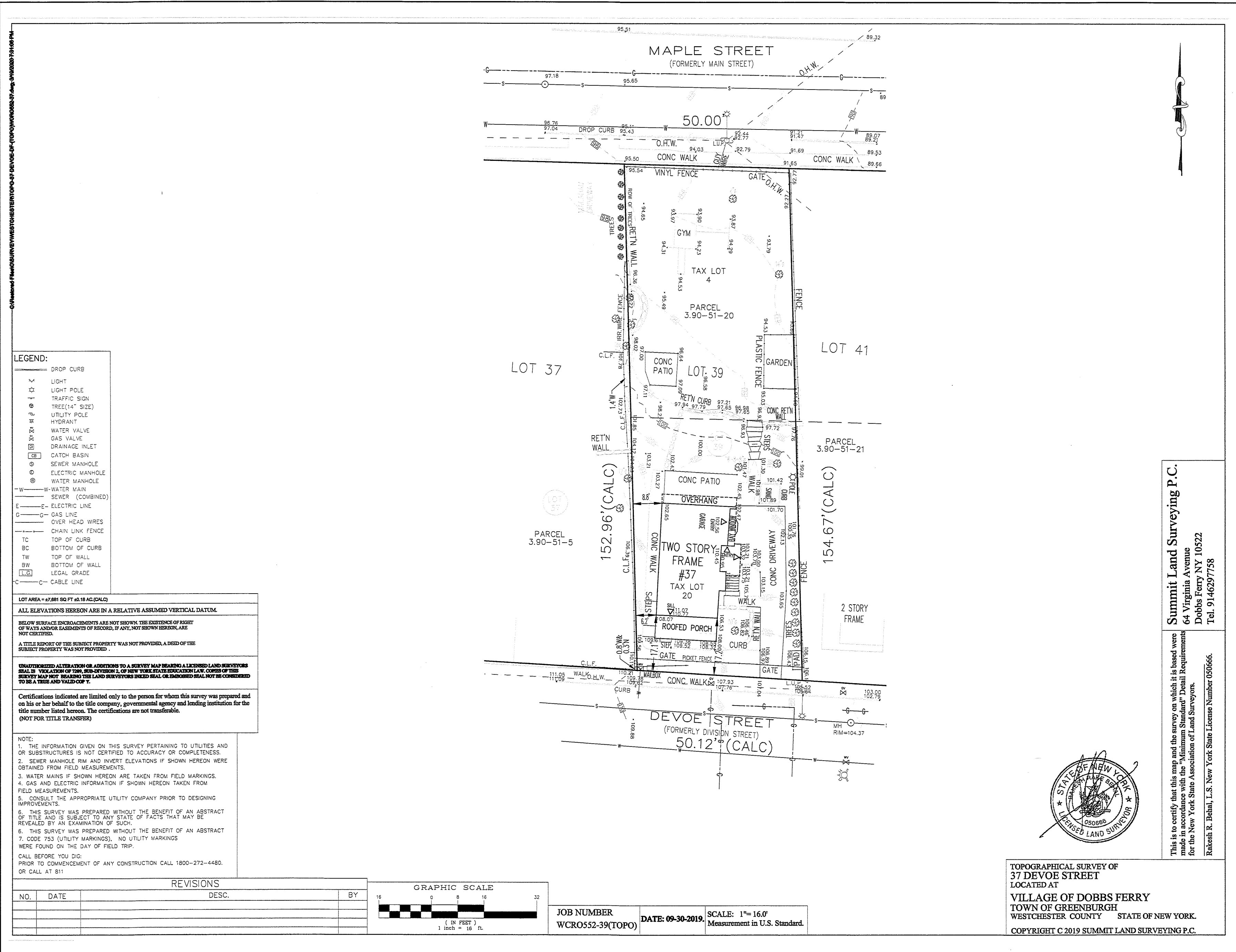
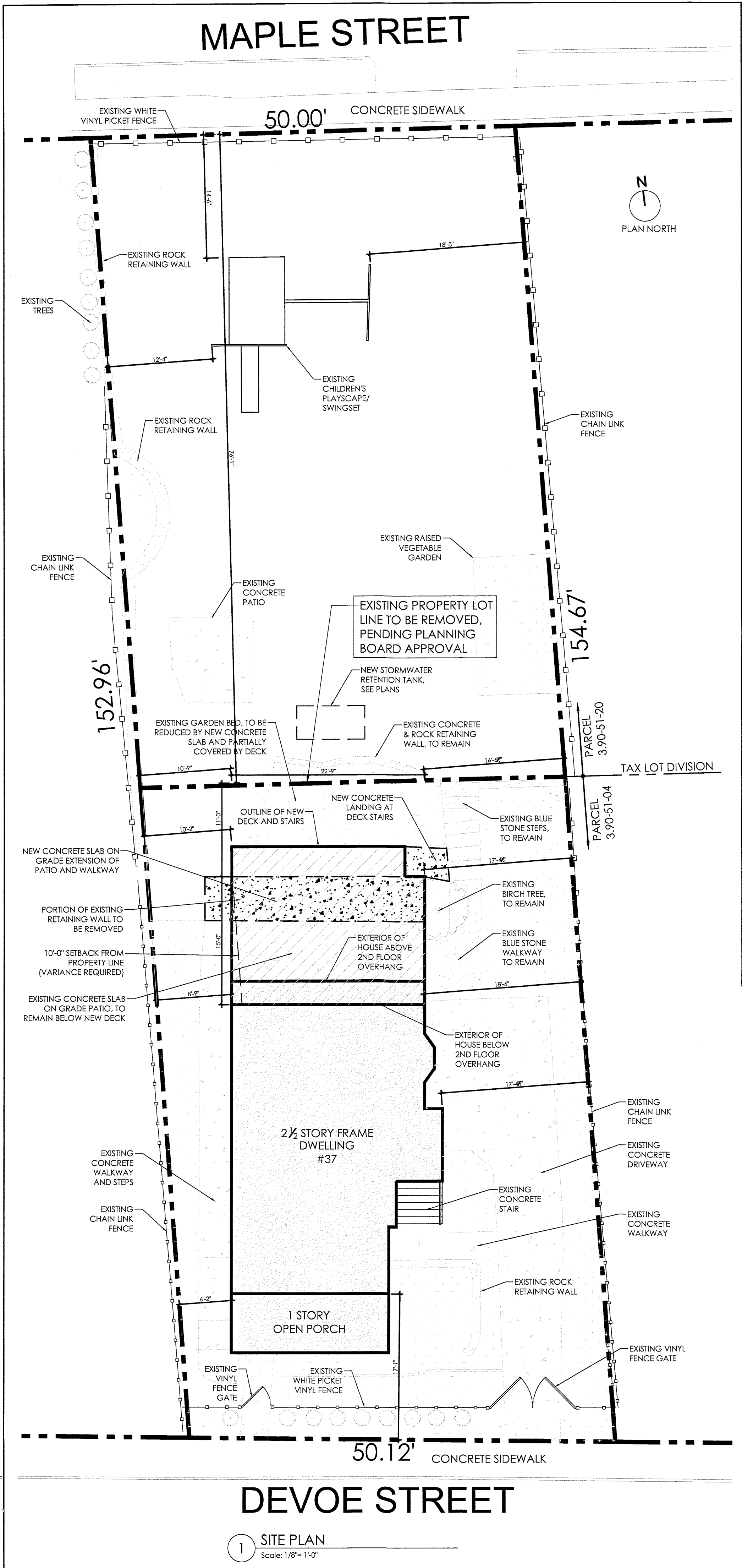


PROJECT:
EXISTING BUILDING ALTERATION
37 DEVOE STREET
DOBBS FERRY, NY. 10522

DRAWING TITLE:

SITE PLAN AND SURVEY

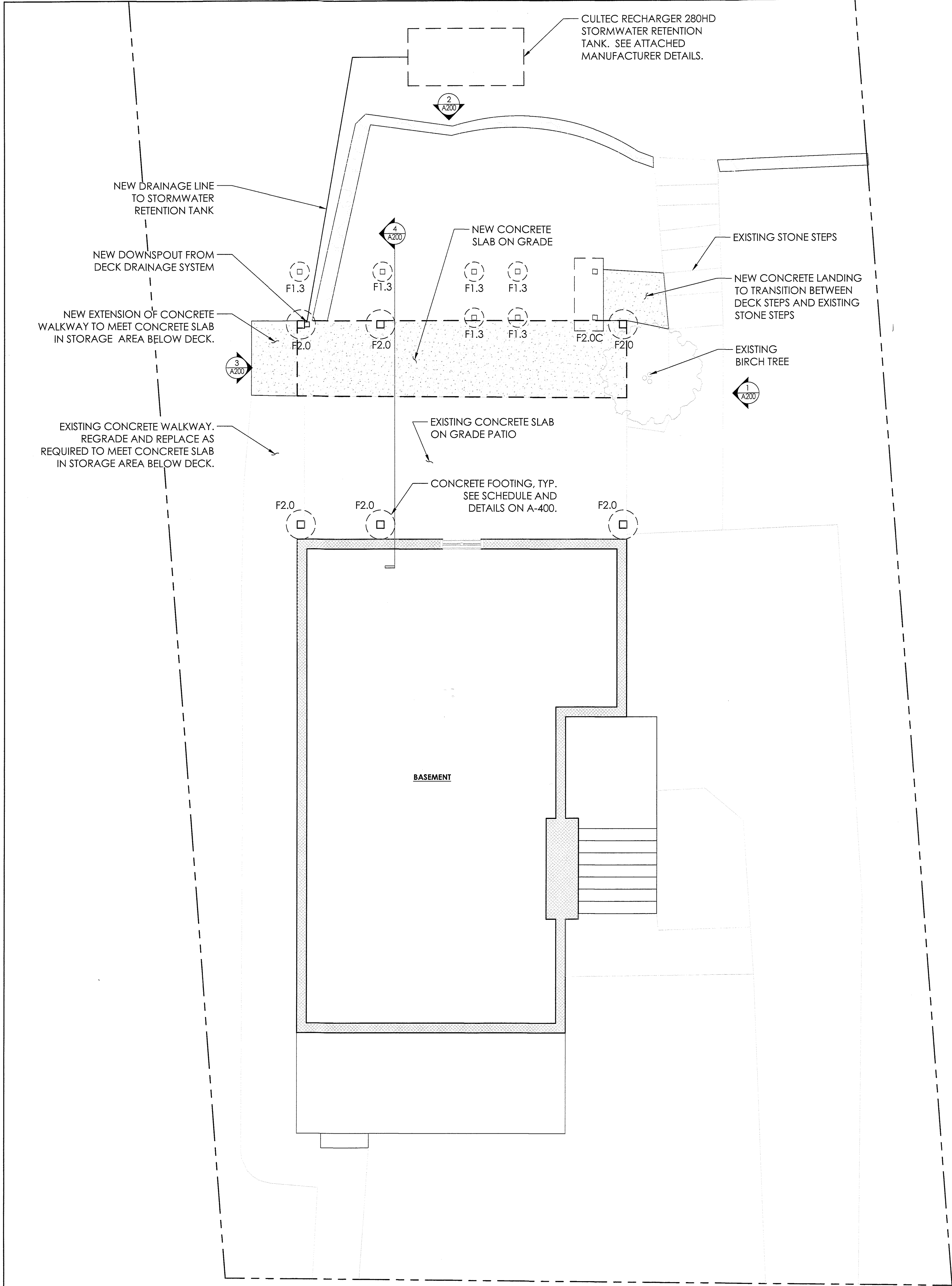
DATE:	08/20/2019	DWG NO:	
DRAWN BY:	LCG		SP-100.00
CHECKED BY:	MVC		
PROJECT NO:	19038		2 OF 10



2 SURVEY
Scale: 1" = 20'-0"
NOTE: ORIGINAL DRAWING SCALE IS 1" = 16'.
REDUCED SIZE SCALE AS FIT TO THIS SHEET IS 1" = 20'.



PROJECT NO: 19038	2 OF 1
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CONSTRUCTION NOTES

1. CONTRACTOR SHALL PRE SURVEY AREA OF WORK FOR IDENTIFICATION OF EXISTING SERVICES TO REMAIN. COORDINATE WITH OWNER AND ARCHITECT.
2. CONTRACTOR IS TO IMMEDIATELY NOTIFY ARCHITECT OF DISCREPANCIES THAT MAY PROHIBIT OR AFFECT THE CONSTRUCTION OF ANY PART OF THE INTENDED DESIGN.
3. DIMENSIONS ARE TAKEN FROM FINISH MATERIAL TO FINISH MATERIAL.
4. PROTECT ALL WALLS, DOORS, WINDOWS AND FINISH MATERIALS NOTED TO REMAIN.
5. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL HAZARDOUS MATERIAL AS PER NEW YORK STATE AND LOCAL BUILDING CODES.
6. UPON COMPLETION OF DEMOLITION, THE CONTRACTOR SHALL WALK THE AREA OF WORK WITH THE ARCHITECT TO CONFIRM LAYOUT OF NEW DECK. EXISTING STRUCTURAL ELEMENTS AND ITEMS WILL NOT BE DISTURBED DURING CONSTRUCTION.
7. ALL EXISTING PLUMBING RISERS AND ELECTRICAL SERVICES ARE TO BE PROTECTED DURING CONSTRUCTION.
8. COORDINATE ALL NEW PLUMBING AND ELECTRICAL SERVICES WITH EXISTING SERVICES.
9. PATCH AND REPAIR ALL FLOORING AND CEILING AREAS WHERE WALLS WERE DISTURBED. ALL NEW FINISHES TO MATCH EXISTING.
10. ALL FINISHES ON NEW CONSTRUCTION, INCLUDING BUT NOT LIMITED TO CROWN AND BASE MOLDINGS, TO BE SPECIFIED BY OWNER.
11. WHERE NEW MATERIALS ARE TO BE APPLIED IN EXISTING AREAS, CONTRACTOR SHALL REMOVE EXISTING MATERIAL AS REQUIRED AND PROPERLY PREPARE AREA TO RECEIVE THE NEW WORK.
12. REFER TO DOOR SCHEDULE FOR SIZE AND LOCATIONS OF NEW DOORS.
13. ALL NEW LIGHT FIXTURES SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. ALL NEW LIGHT FIXTURES SHALL BE SPECIFIED BY OWNER.
14. CONCRETE SONOTUBE FOOTINGS ARE DESIGNED FOR A MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 2,000 PSF. SEE SCHEDULE AND DETAILS ON A-400.

MATTHEW CORDONE
ARCHITECT PLLC

14 Spring Street
Hastings On Hudson
New York 10706
phone: 917.749.8071
mcordone@mcapllic.net

OWNER:

THOMPSON FAMILY
37 DEVOE STREET
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CONSULTANTS

KEY PLAN

REVISIONS

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SEAL & SIGNATURE



PROJECT:

EXISTING BUILDING ALTERATION
37 DEVOE STREET
DOBBS FERRY, N.Y. 10522

DRAWING TITLE:

DECK FOUNDATION PLAN
AND NOTES

DATE: 08/20/2019

DWG NO:

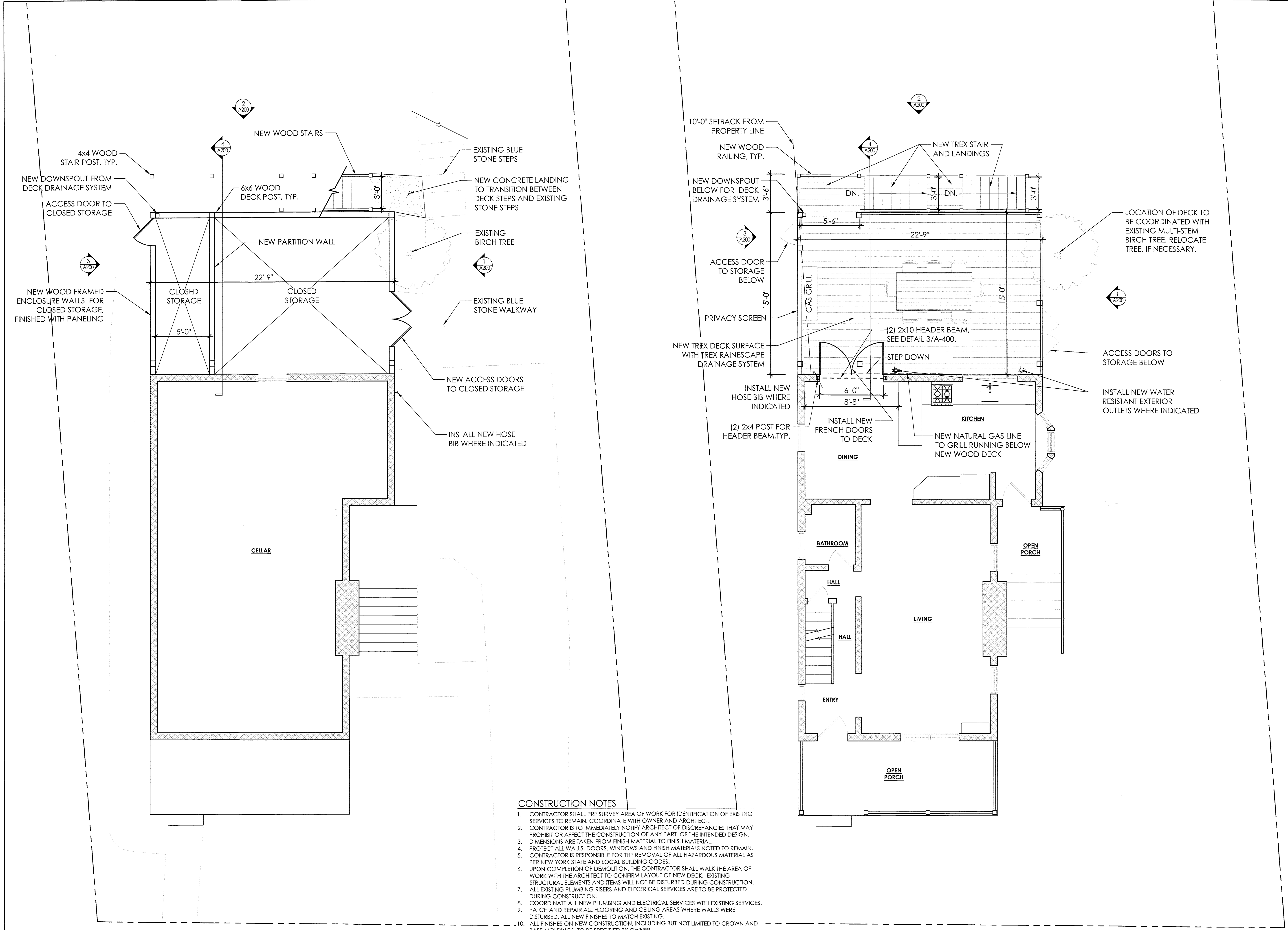
DRAWN BY: LCG

CHECKED BY: MVC

PROJECT NO: 19038

A-100.00

3 OF 10



- CONSTRUCTION NOTES**
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 5. CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL HAZARDOUS MATERIAL AS PER NEW YORK STATE AND LOCAL BUILDING CODES.
 6. UPON COMPLETION OF DEMOLITION, THE CONTRACTOR SHALL WALK THE AREA OF WORK WITH THE ARCHITECT TO CONFIRM LAYOUT OF NEW DECK. EXISTING STRUCTURAL ELEMENTS AND ITEMS WILL NOT BE DISTURBED DURING CONSTRUCTION.
 7. ALL EXISTING PLUMBING RISERS AND ELECTRICAL SERVICES ARE TO BE PROTECTED DURING CONSTRUCTION.
 8. COORDINATE ALL NEW PLUMBING AND ELECTRICAL SERVICES WITH EXISTING SERVICES.
 9. PATCH AND REPAIR ALL FLOORING AND CEILING AREAS WHERE WALLS WERE DISTURBED. ALL NEW FINISHES TO MATCH EXISTING.
 10. ALL FINISHES ON NEW CONSTRUCTION, INCLUDING BUT NOT LIMITED TO CROWN AND BASE MOLDINGS, TO BE SPECIFIED BY OWNER.
 11. WHERE NEW MATERIALS ARE TO BE APPLIED IN EXISTING AREAS, CONTRACTOR SHALL REMOVE EXISTING MATERIAL AS REQUIRED AND PROPERLY PREPARE AREA TO RECEIVE THE NEW WORK.
 12. REFER TO DOOR SCHEDULE FOR SIZE AND LOCATIONS OF NEW DOORS.
 13. ALL NEW LIGHT FIXTURES SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. ALL NEW LIGHT FIXTURES SHALL BE SPECIFIED BY OWNER.

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OWNER:
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37 DEVOE STREET
DOBBS FERRY, N.Y. 10522

CONSULTANTS

KEY PLAN

REVISIONS
12.3.2019 FILING SET
3.20.2020 REVISED FILING SET
3.24.2020 ZONING BOARD SET

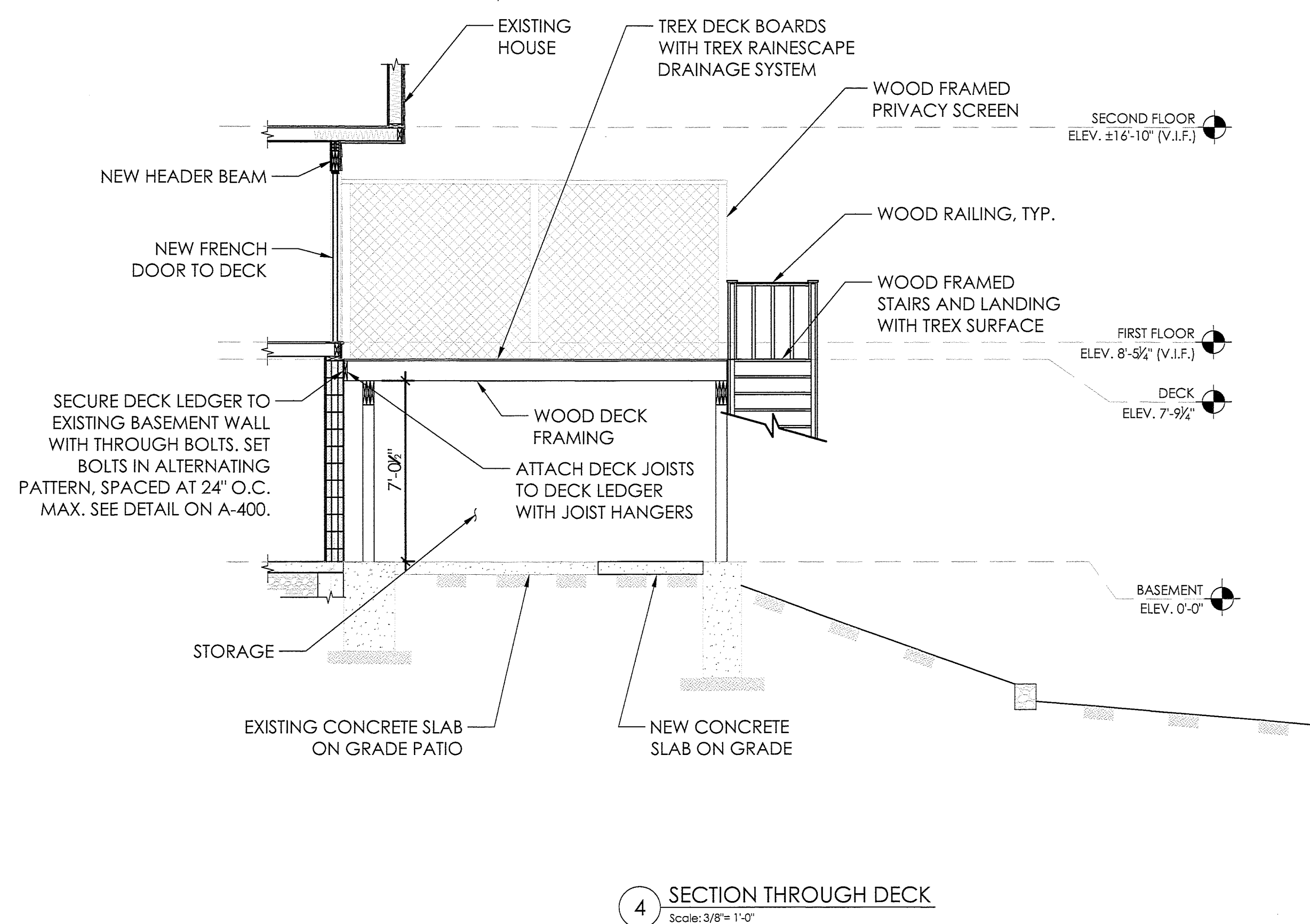
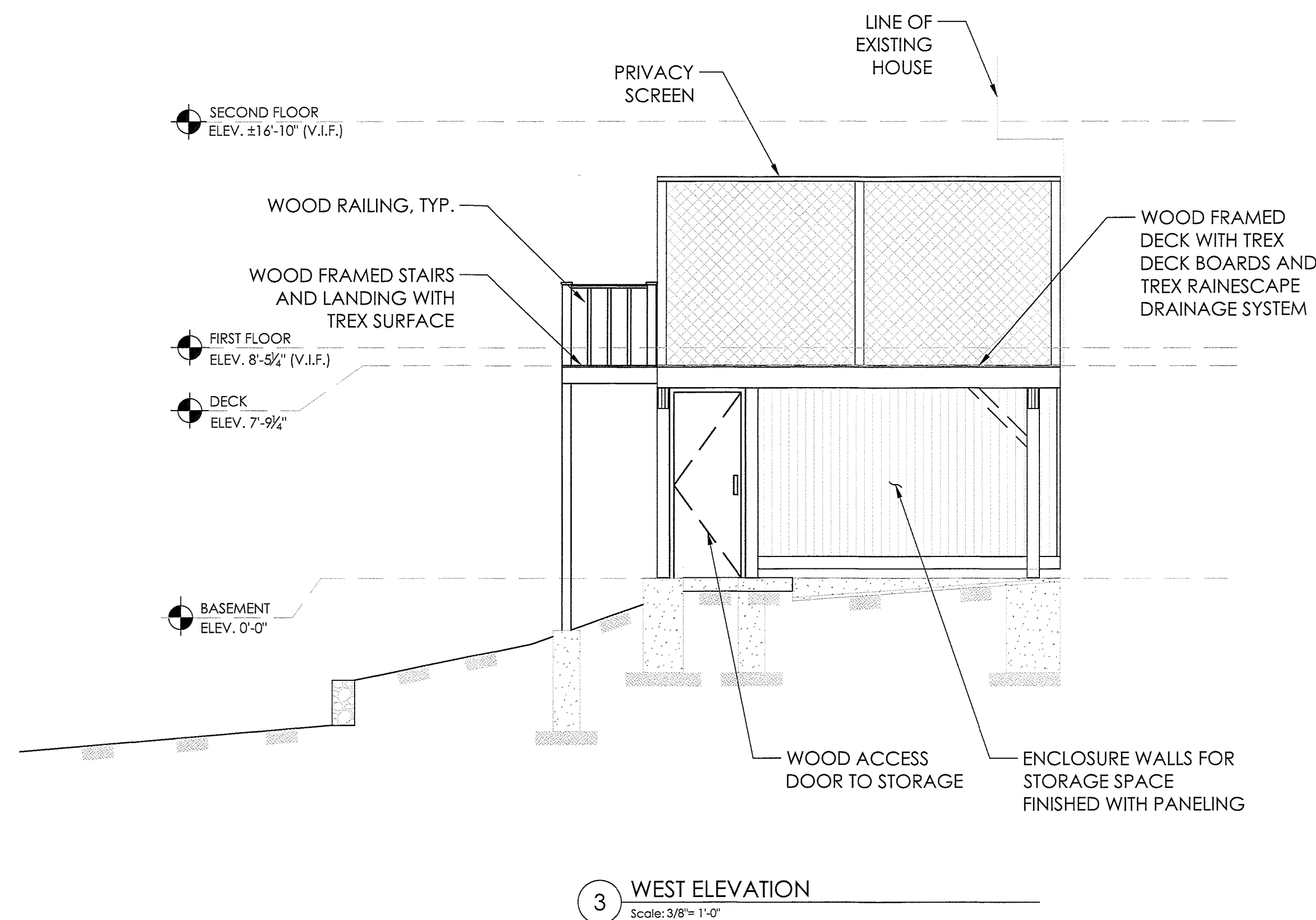
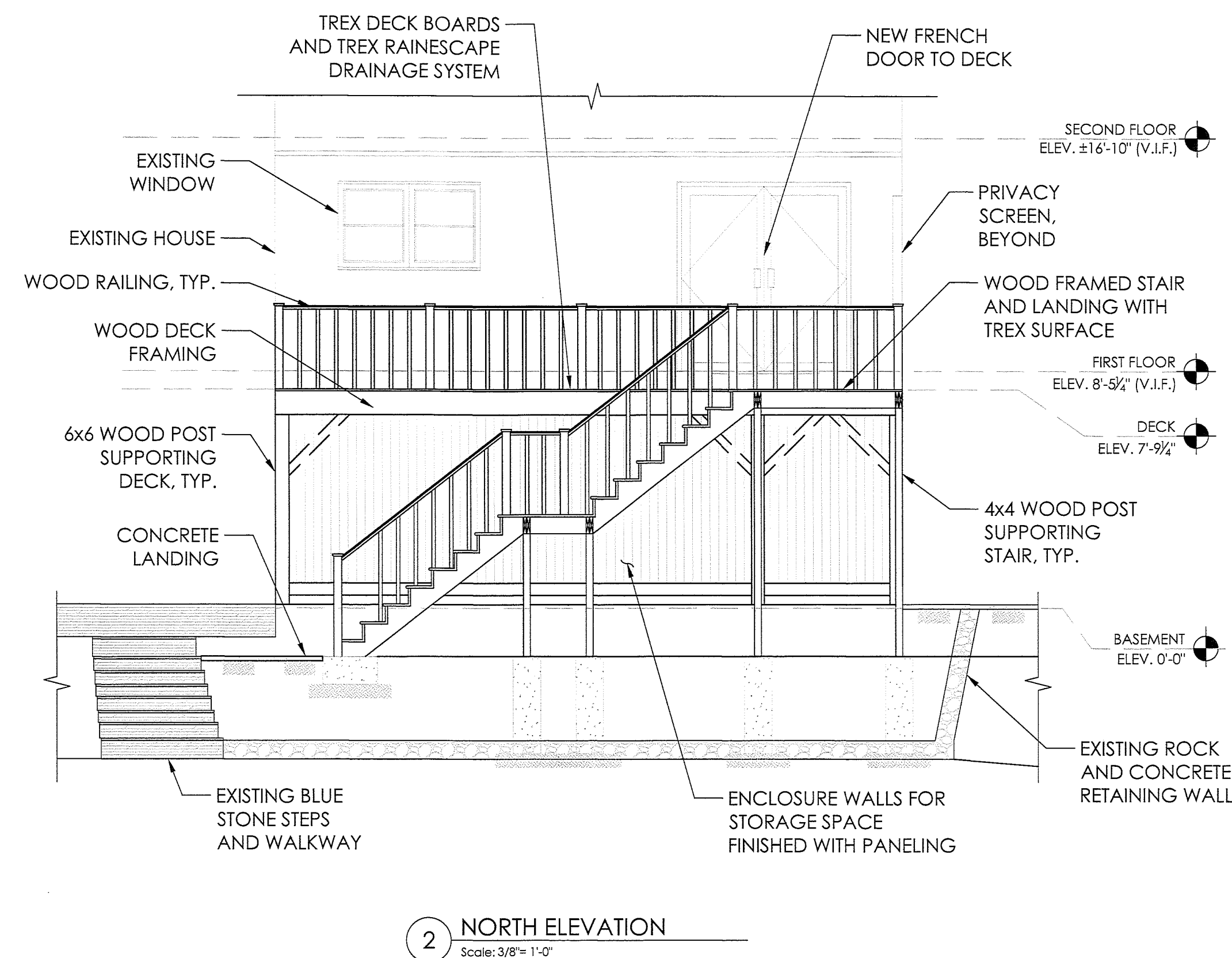
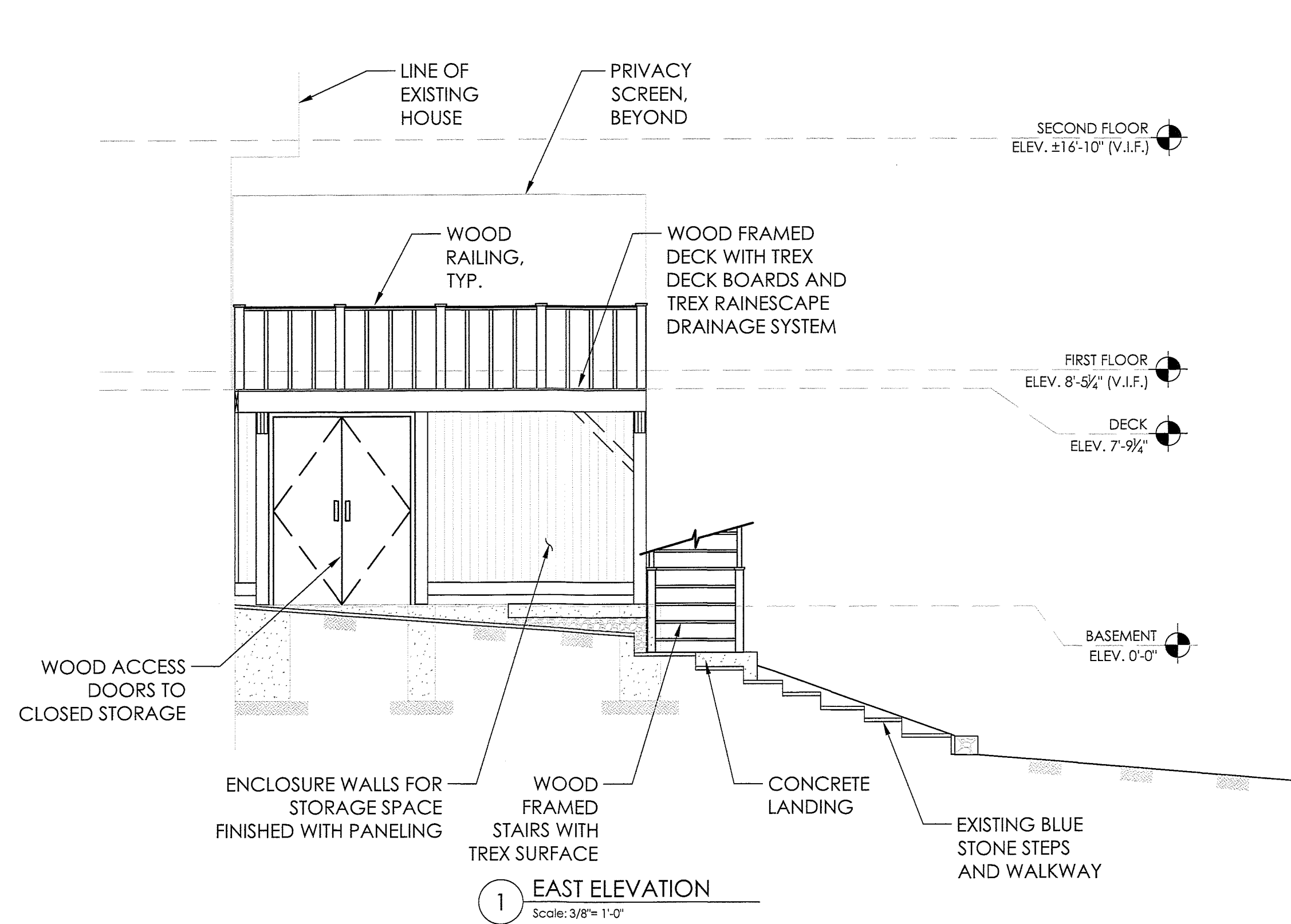
SEAL & SIGNATURE

PROJECT:
EXISTING BUILDING ALTERATION
37 DEVOE STREET
DOBBS FERRY, NY, 10522

DRAWING TITLE:
LOWER DECK AND UPPER DECK
CONSTRUCTION PLANS AND NOTES

DATE: 08/20/2019 DWG NO:
DRAWN BY: LCG
CHECKED BY: MVC
PROJECT NO: 19038 3 OF 10

A-101.00



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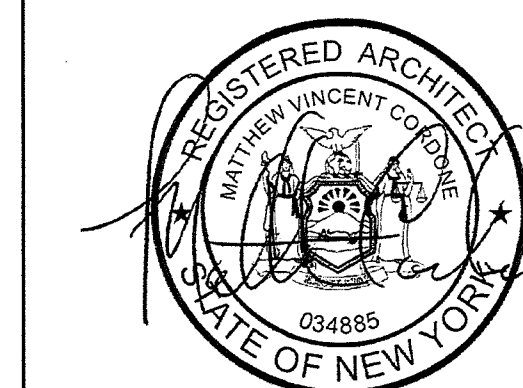
CONSULTANTS

KEY PLAN

REVISIONS

12.3.2019	FILING SET
3.20.2020	REVISED FILING SET
3.24.2020	ZONING BOARD SET

SEAL & SIGNATURE



PROJECT:

EXISTING BUILDING ALTERATION
37 DEVOE STREET
DOBBS FERRY, NY. 10522

DRAWING TITLE:

DECK ELEVATIONS AND SECTIONS

DATE: 08/20/2019 DWG NO:

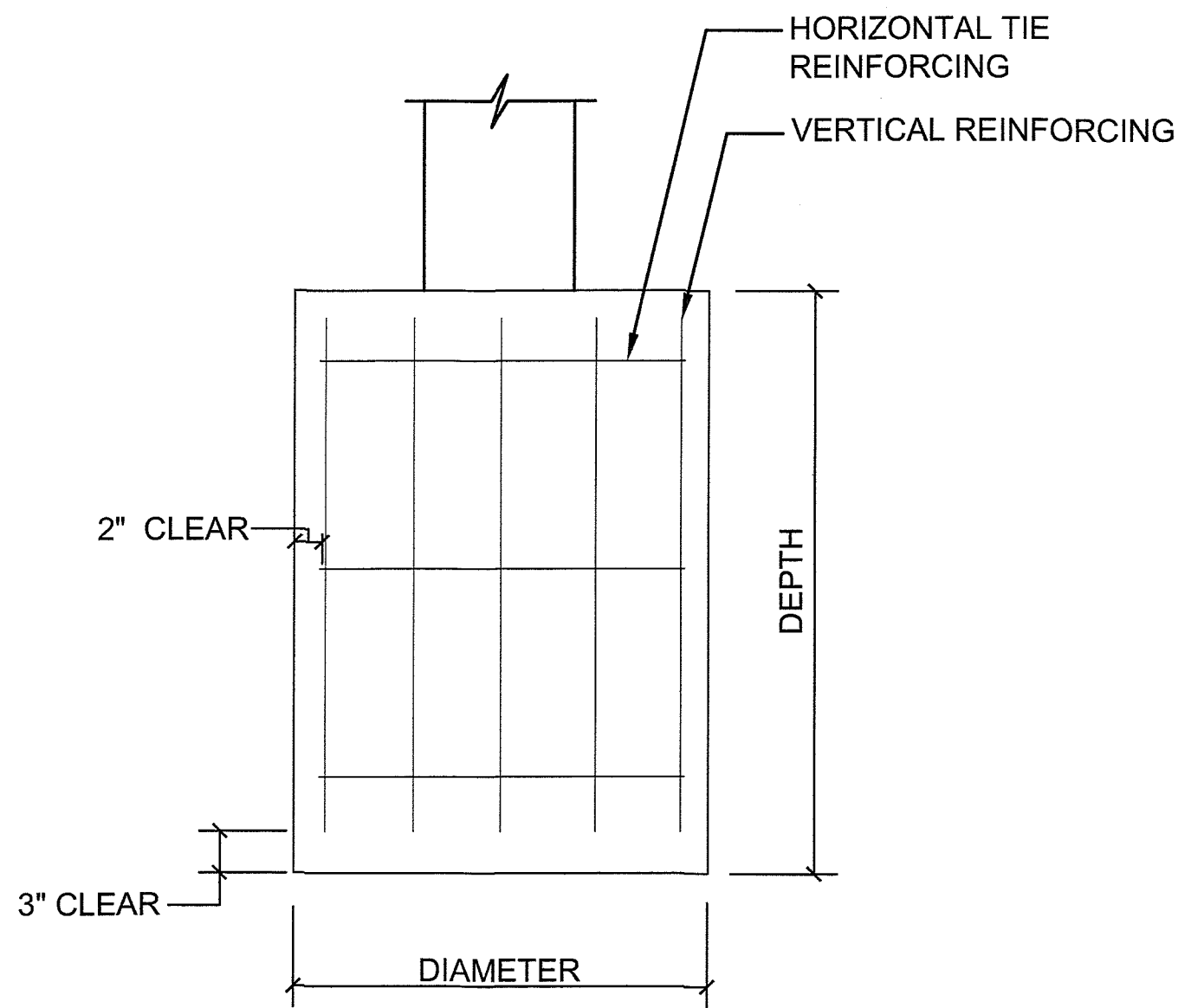
DRAWN BY: LCG

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CHECKED BY: MVC

PROJECT NO: 19038 5 OF 10

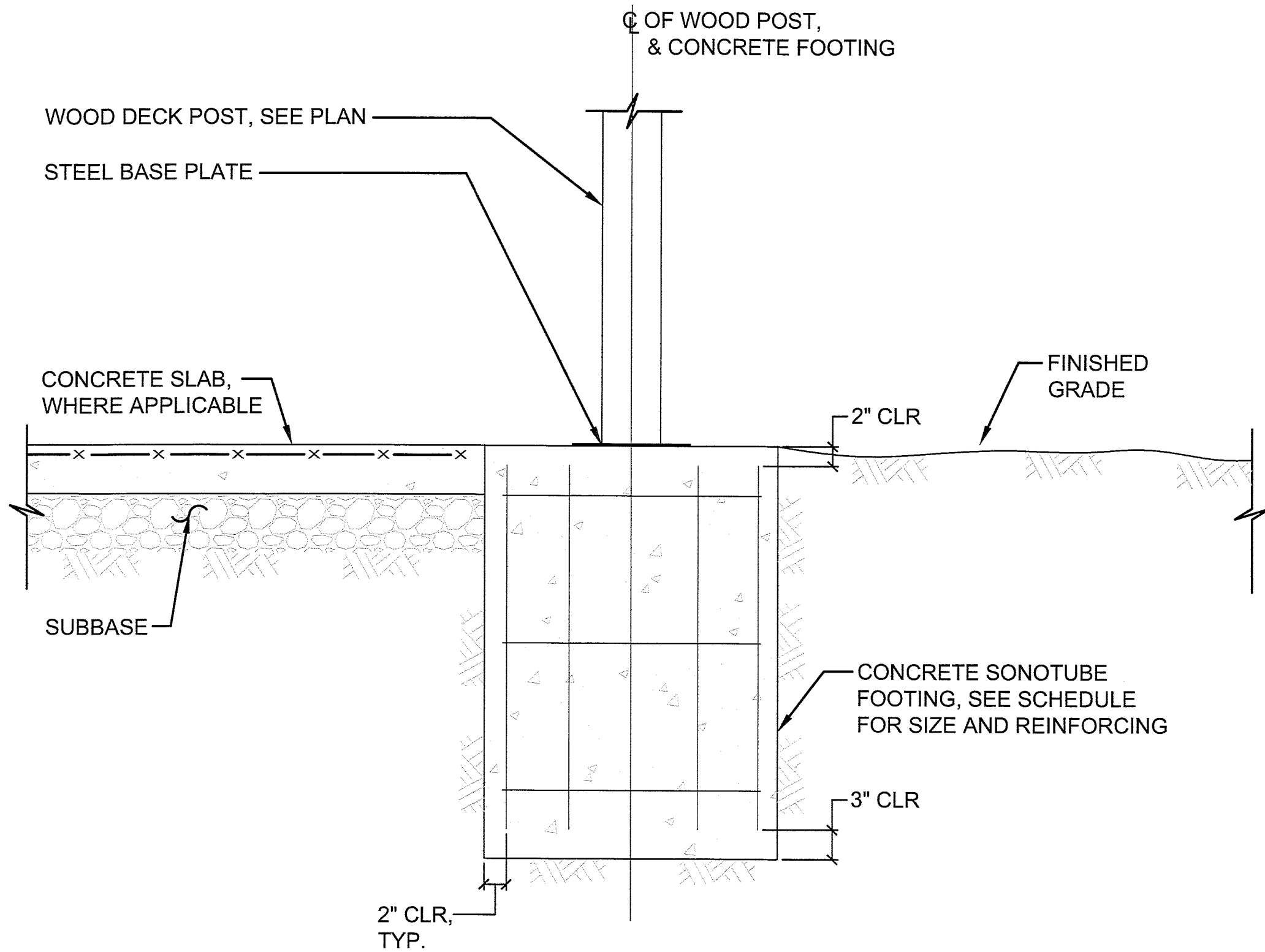
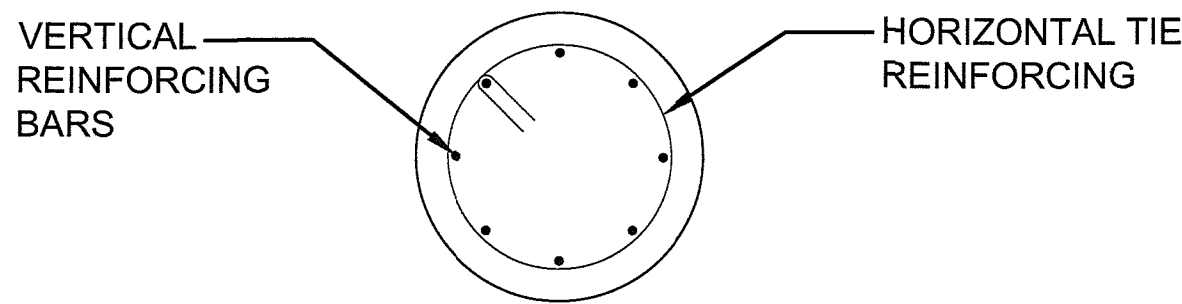
SONOTUBE FOOTING SCHEDULE (F)



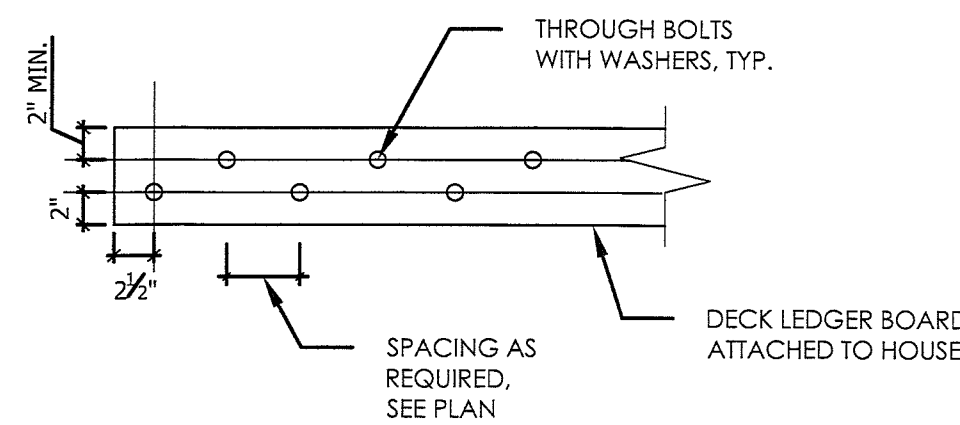
MARK	FOOTING SIZE		VERTICAL REINFORCING	HORIZONTAL TIE REINFORCING	REMARKS
	DIAMETER	DEPTH			
F1.3	16" Ø	42"	(4) #7 BARS	#3 SPACED AT 18" O.C. MAX.	
F2.0	24" Ø	42"	(8) #7 BARS	#3 SPACED AT 18" O.C. MAX.	
F2.5	30" Ø	42"	(12) #7 BARS	#3 SPACED AT 18" O.C. MAX.	

NOTES:

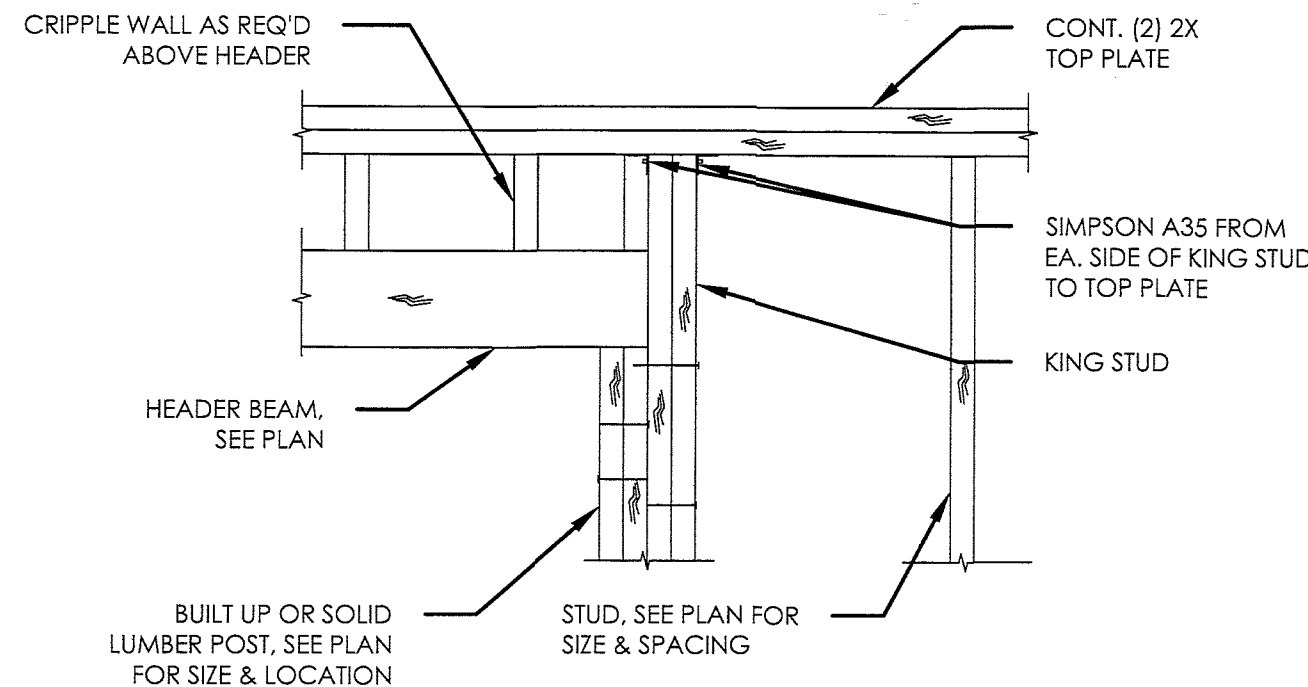
- SONOTUBE FOOTINGS ARE DESIGNED FOR A MINIMUM ALLOWABLE BEARING PRESSURE OF 2,000 PSF.
- SONOTUBE FOOTINGS ARE CENTERED ON POSTS ABOVE, UNLESS SHOWN OR NOTED OTHERWISE.
- PROVIDE VERTICAL BAR AND HORIZONTAL TIE LAYOUT AS SHOWN THUS (QUANTITY OF VERTICAL BARS VARIES, SEE SCHEDULE):



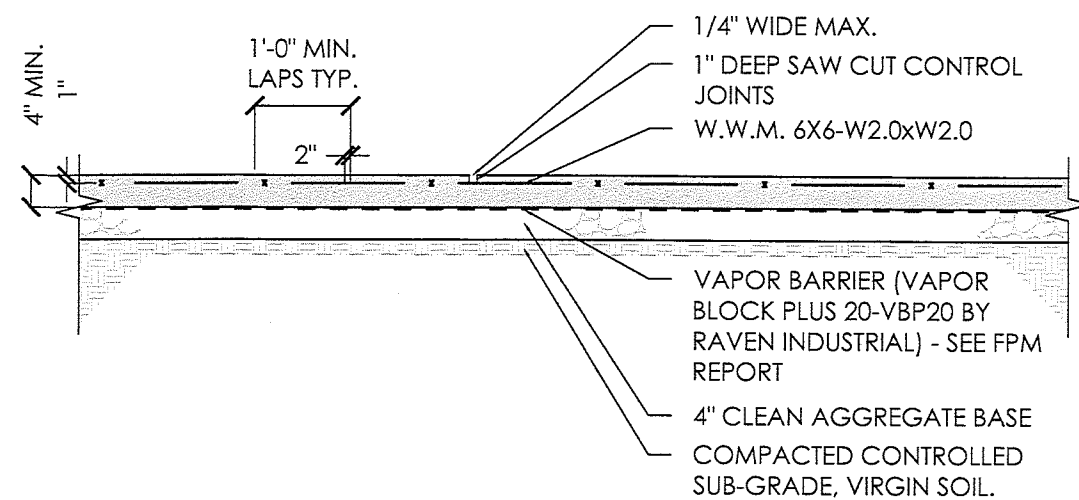
1 DECK POST SONOTUBE FOOTING DETAIL
Scale: 1"= 1'-0"



2 LEDGER BOARD BOLTING PATTERN DETAIL
Scale: 1"= 1'-0"



3 HEADER BEAM DETAIL
Scale: 1"= 1'-0"



4 TYP. CONC. SLAB ON GRADE DETAIL
Scale: NTS

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PROJECT:
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DOBBS FERRY, NY, 10522

DRAWING TITLE:
DETAILS AND SCHEDULES

DATE: 08/20/2019 DWG NO:
DRAWN BY: LCG
CHECKED BY: MVC
PROJECT NO: 19038

A-400.00
6 OF 10